

LOCATION MAP



PROJECT INFORMATION

ADDRESS: 24 ADOBE LANE
ORINDA, CA 94563

APN: 271-130-003

CURRENT ZONING: RL-40 "RESIDENTIAL LOW DENSITY"
40,000 SF MINIMUM LOT SIZE

PROPOSED ZONING: PR "PARKS AND RECREATION DISTRICT"
"CULTURAL INSTITUTION"

OCCUPANCY: GROUP B - BUSINESS

DESCRIPTION:
THE PROJECT SITE IS ONE PARCEL OF THE LARGER J&J RANCH RESIDENTIAL DEVELOPMENT. PRIMARY SCOPE OF WORK IS FOR THE REHABILITATION OF THE HISTORIC JOAQUIN MORAGA ADOBE (LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES AND A CITY OF ORINDA LANDMARK) FOR USE AS A HOUSE MUSEUM. SITE WORK WILL INCLUDE PROVIDING A LOADING ZONE FOR SHUTTLE BUSES, ON-SITE PARKING AT THE SOUTHWEST CORNER OF SITE, AND ACCESSIBLE PATHS FROM THE NEW STREET LEADING TO THE HOUSE. A PERMEABLE PAVED GATHERING AREA TO THE SOUTH OF THE ADOBE WILL HAVE A DEMONSTRATION "KITCHEN" WITH AN EARTHEN OVEN AND A COOKING GRILL. A NEW ACCESSORY BUILDING TO THE WEST OF THE ADOBE WILL PROVIDE ACCESSIBLE TOILET ROOMS AND STORAGE SPACE.

CONSTRUCTION TYPE: TYPE V-B

PROJECT DATA SUMMARY:

PARCEL A AREA: 2.34 ACRES (101,930 SF)
EXISTING BUILDING FOOTPRINT AREA: 2,590 SF
PROPOSED BLDG. FOOTPRINT AREA (ADOBE): 1,970 SF
PROPOSED BLDG. FOOTPRINT (OUTBLDG.): 248 SF
PROPOSED NET LOT AREA: 99,712 SF
PROPOSED LOT COVERAGE: 2.2 %

	EXISTING	ADD'TL PROPOSED	TOTAL
FIRST FLR.	2,590	<620>	1,970
ATTIC*	0	0	0
OUTBUILDING	0	248	248
TOTAL	2,590	<372>	2,218

* ATTIC HAS 204 SF @ 5'-9" CLEAR CLG. HEIGHT & IS UN-CONDITIONED, UNOCCUPIED SPACE.

FLOOR AREA RATIO CALCULATIONS:

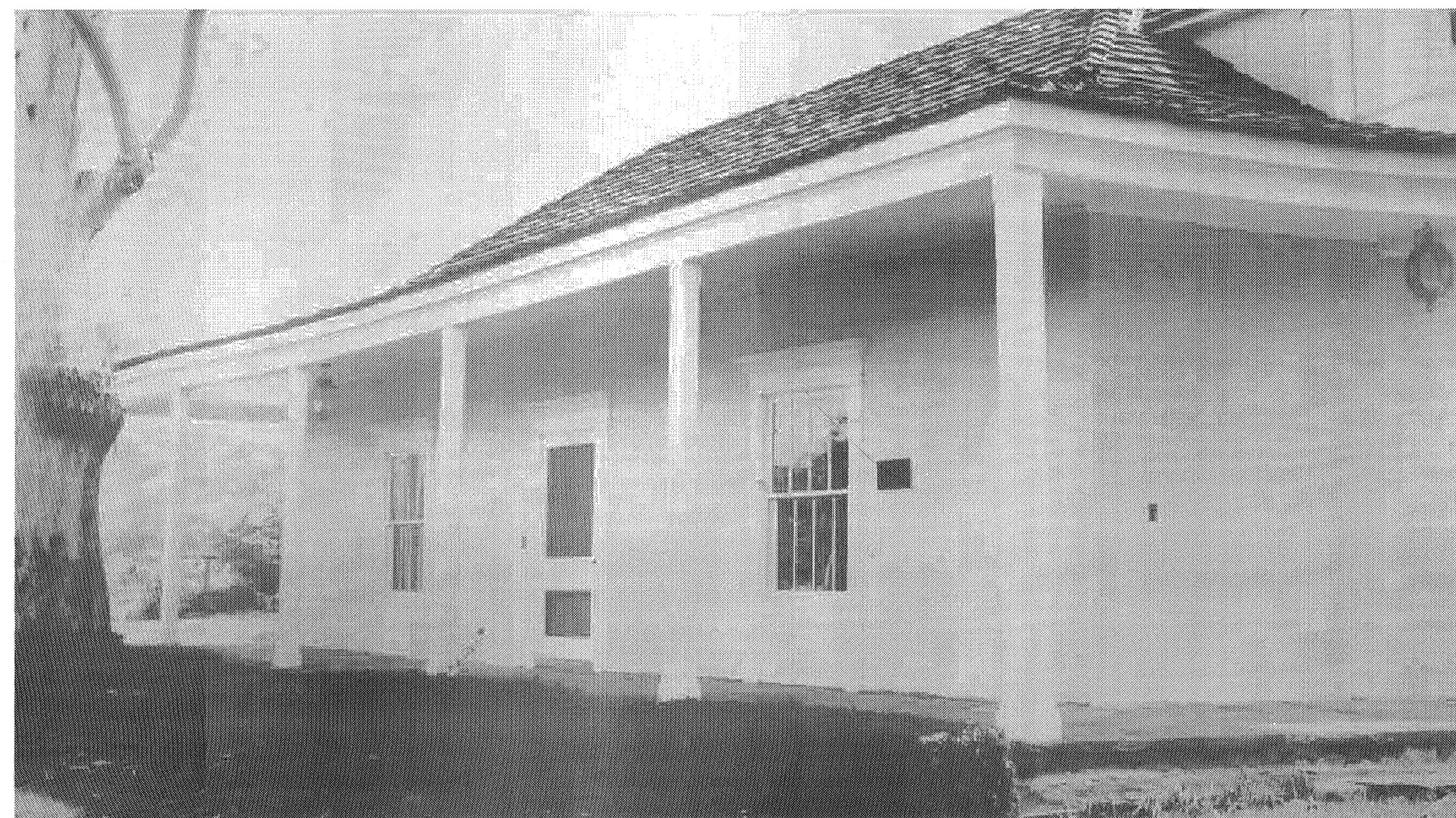
	TOTAL SF
PROPOSED F.A.R.	
FIRST FLR. (ADOBE)	1,970
OUTBUILDING	248
TOTAL	2,218
LOT AREA:	101,930 SF
PROPOSED F.A.R.=	2.2%
MAX. ALLOWABLE F.A.R.=	20%

WILDFIRE HAZARD REQUIREMENTS:

PROJECT IS LOCATED WITHIN A WILDLAND-URBAN INTERFACE FIRE AREA. (E) BUILDING IS LOCATED IN A VERY HIGH FIRE HAZARD SEVERITY ZONE. FIRE HAZARD SEVERITY ZONES ARE GEOGRAPHICAL AREAS DESIGNATED PURSUANT TO CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 4201 THROUGH 4204. SUBJECT TO CBC CODE CHAPTER 7A AND MORAGA-ORINDA FIRE DISTRICT REQUIREMENTS. FIRE DISTRICT REVIEW AND APPROVAL IS REQUIRED BEFORE CONSTRUCTION.

DEFERRED SUBMITTALS:

ELECTRICAL, MECHANICAL (HVAC), AND PLUMBING SYSTEMS SHALL BE DEFERRED SUBMITTAL.



JOAQUIN MORAGA ADOBE

CODE INFORMATION	PROJECT DIRECTORY	DRAWING INDEX
BUILDING CODE: 2016 CALIFORNIA HISTORICAL BUILDING CODE 2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA PLUMBING, MECHANICAL & ELECTRICAL CODES, AND ENERGY EFFICIENCY STANDARDS	OWNER: J&J RANCH LLC CONTACT: JOHN FRENCH TEL: 925-323-2480 EML: john@johnsfrench.com	A-0.00 COVER SHEET A-0.01 GENERAL NOTES A-0.02 CONDITIONS OF APPROVAL SHEET 1 A-0.03 CONDITIONS OF APPROVAL SHEET 2 A-0.04 CONDITIONS OF APPROVAL SHEET 3 A-0.05 CONDITIONS OF APPROVAL SHEET 4
FIRE PROTECTION: FIRE SPRINKLER SYSTEM: NOT REQUIRED FOR GROUP B OCCUPANCY (PER 2016 CBC - SECTION 903.2)	FRIENDS OF THE JOAQUIN MORAGA ADOBE: CONTACT: KENT LONG, PRESIDENT TEL: 925-330-6726 EML: KentLong@MoragaAdobe.org	CIVIL: C-1 FINE GRADING C-2 UTILITY PLAN
MEANS OF EGRESS: # EXITS REQUIRED (ADOBE): 2 (2016 CBC - TABLE 1006.3.1) # EXITS PROVIDED: 6	ARCHITECT: MICHAEL GARAVAGLIA, AIA GARAVAGLIA ARCHITECTURE, INC. 582 MARKET STREET, SUITE 1800 SAN FRANCISCO, CA 94104 CONTACT: AMBROSE WONG TEL: 415-391-9633 FAX: 415-391-9647 EML: ambrose@garavaglia.com	ARCHITECTURAL: A-1.11 SITE PLAN - PROPOSED A-2.01 FLOOR PLAN - EXISTING/DEMO A-2.02 ATTIC & ROOF PLAN - EXISTING/DEMO A-2.11 FLOOR PLAN - PROPOSED A-2.12 ATTIC & ROOF PLAN - PROPOSED A-2.13 PLANS & ELEVATIONS - PROPOSED ACCESSORY BUILDING A-3.01 EXTERIOR ELEVATIONS - EXISTING/DEMO A-3.02 EXTERIOR ELEVATIONS - EXISTING/DEMO A-3.11 EXTERIOR ELEVATIONS - PROPOSED A-3.12 EXTERIOR ELEVATIONS - PROPOSED A-3.21 SECTION - PROPOSED A-8.01 DETAILS A-9.01 ACCESSIBILITY DETAILS A-10.01 SCHEDULES
USE PERMIT: REQUIRED; WILL INCLUDE REQUIREMENTS FOR BIKE PARKING	STRUCTURAL ENGINEER: DUQUETTE ENGINEERING 4340 STEVENS CREEK BLVD., SUITE 200 SAN JOSE, CA 95129 CONTACT: STEVE DUQUETTE TEL: 408-615-9200 FAX: 408-615-9900 EML: spd@duquette-eng.com	STRUCTURAL: S0.0 SPECIFICATIONS, LEGEND S0.1 NAILING SCHEDULE & STANDARD DETAILS S0.2 SHEARWALL SCHEDULE & SHEARWALL DETAILS S1.0 FOUNDATION PLAN S1.1 CEILING/ATTIC FRAMING PLAN S1.2 ROOF FRAMING PLAN S2.0 FOUNDATION DETAILS S3.0 FRAMING DETAILS
SETBACKS: FOR RL-40 ZONING: 25' - FRONT YARD 40' - COMBINED SIDE YARDS 15' - WEST SIDE YARD 25' - EAST SIDE YARD 15' - REAR YARD 50' - FRONT YARD SETBACK FOR ACCESSORY STRUCTURE	CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC. 2633 CAMINO RAMON, SUITE 350 SAN RAMON, CA 94583 CONTACT: ANGELO OBERTELLO TEL: (925) 866-0322 X268 EML: aobertello@cbandg.com	LANDSCAPE: L-1 IRRIGATION PLAN L-2 IRRIGATION LEGEND, NOTES AND DETAILS L-3 ADDITIONAL IRRIGATION DETAILS L-4 PLANTING PLAN L-5 PLANTING NOTES AND DETAILS
OFF-STREET LOADING SPACE: 1 REQUIRED OFF-STREET LOADING SPACE SIZE: 12' x 35' x 16' HIGH BUILDING AREA < 30,000 GSF = 1 SPACE (OMC SCHEDULE 17.16.4BP)	LANDSCAPE ARCHITECT: THOMAS BAAK AND ASSOCIATES LLP 1620 N. MAIN STREET, #4 WALNUT CREEK, CA 94596 CONTACT: ANDREA SWANSON TEL: (925) 933-2583 X107 EML: aswanson@tbaak.com	
OFF-STREET PARKING SPACES: 1 REQUIRED SPACE / 300 GSF (USE CLASSIFICATION 3) 3 - FULL-SIZED 2 - COMPACT 1 - VAN-ACCESSIBLE 6 - TOTAL REQUIRED SPACES		
PROPOSED GRADING: CUT - 10 CUBIC YARDS FILL - 25 CUBIC YARDS NOTE: THESE ARE ESTIMATES ONLY & WILL BE REFINED PER ENGINEERED DESIGN.		

CITY OF ORINDA HAS ONLY APPROVED THE FOLLOWING:

Restoration/Renovation of
Joaquin Moraga Adobe

MINISTERIAL
DISCRETIONARY

EXPIRATION

ANY DEVIATIONS, MODIFICATIONS, OR ADDITIONS TO THE ABOVE APPROVED MUST BE REVIEWED AND APPROVED BY THE CITY OF ORINDA PLANNING DEPARTMENT BEFORE PROCEEDING.

FINAL INSPECTIONS REQUIRED PRIOR TO BUILDING DEPARTMENT FINAL

APPROVED BY ORINDA PLANNING DEPARTMENT

PLANNING
PUBLIC WORKS
WMP
NONE

Adam Wong 3/18/19
SIGNATURE/DATE

GARAVAGLIA ARCHITECTURE
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www.garavaglia.com

*Rev
6/4/19*

MORAGA ADOBE

AT J&J RANCH
REHABILITATION

24 ADOBE LANE
ORINDA, CA 94563



COVER SHEET

PROJ. NO. 2016 - 051
SCALE NO SCALE
DATE 26 FEB 2019
PHASE PERMIT
DRAWN
CHECKED

NO. DATE 19-000893-
REVISION PERMIT SET

CCCCSD
APR 12 '19
RWV'D

19-003473
CONTRA COSTA COUNTY
BUILDING INSPECTION DIVISION
PERMIT NUMBER

THESE PLANS MUST BE KEPT ON THE PREMISES AND ACCESSIBLE TO INSPECTORS AT ALL TIMES.
SEP 23 2019
REVIEWED

*Structural OK
FD 06/27/2019*

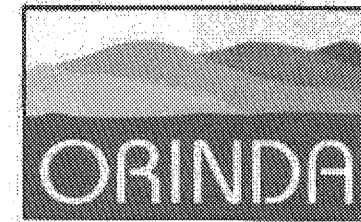
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BICO 19-003473

Field



STATEMENT OF OFFICIAL ACTION

(SOA -2017-009)

CITY OF ORINDA PLANNING COMMISSION

FEBRUARY 28, 2017

APPROVAL OF: DRA-2017-005 HISTORIC LANDMARK IMPROVEMENT PLAN 24 Adobe Lane

OWNER: J&J Ranch, LLC PROJECT PLANNER: Daisy Allen, AICP, Associate Planner

PAGE 1 OF 23

STATEMENT OF OFFICIAL ACTION SOA-2017-009 FEBRUARY 28, 2017

continue to apply to the project. Note that there are inconsistencies between Conditions 9, 10 and 13 regarding the timing for commencing restoration and transferring title of the Adobe. See Exhibit A, Project-Specific Condition of Approval #1.

In addition to the Project-Specific Conditions of Approval, the following Environmental Impact Report Mitigation Measures also apply to the Adobe renovation.

Mitigation Measure Cultural-2: Secretary of the Interior's Standards for Rehabilitation. To ensure that the future rehabilitation of the Moraga Adobe is conducted in conformance with the Secretary of the Interior's Standards for Rehabilitation, the Project applicant will enter into formal agreement with the City of Orinda stipulating that:

- 1. No new, freestanding buildings, beyond those stipulated in the 2013 MOA, shall be constructed on the proposed lot occupied by the Moraga Adobe.
2. Any future additions to the existing Moraga Adobe shall be restricted to the portion of the lot to the south of the Adobe's front facade, where the building's historic profile has already been changed.
3. Any proposed future rehabilitation of the Moraga Adobe shall be reviewed by the City, or by a historic resource consultant retained by the City, to confirm its conformance with the Secretary of the Interior's Standards for Rehabilitation.
4. Any alterations of, or additions to the Moraga Adobe, including interpretative elements proposed in the future as a community benefit, shall be designed and built in accordance with Standards 9 and 10 of the Secretary of the Interior's Standards for Rehabilitation.
5. Any future rehabilitation or expansion of the Moraga Adobe shall be undertaken with the assistance of a historic preservation architect (meeting the Secretary of the Interior's Standards and Guidelines for Archaeology and Historic Preservation, Professional Qualifications Standards) familiar with historic adobe buildings and with National Park Service Preservation Brief 5, Preservation of Historic Adobe Buildings.

Garavaglia Architecture, Inc. has prepared the design for the rehabilitation. Garavaglia is a preservation architectural firm that has architectural historians and historic architects that meet the qualifications of the Secretary of the Interior's Standards and Guidelines for Archaeology and Historic Preservation, Professional Qualifications Standards. J&J Ranch has not yet entered into an agreement with the City of Orinda per Mitigation Measure Cultural-2. See Exhibit A, Project-Specific Condition of Approval #2.

Mitigation Measure Cultural-3A: Archaeological Testing, Avoidance or Data Recovery. Prior to site clearing and grading, a test excavation program will be conducted at the Moraga Adobe by a qualified archaeologist meeting federal criteria under 36 CFR Part 61 in order to determine the extent and potential significance of the archaeological deposits. In addition, a California Department of Parks and Recreation, Archaeological Site Record form will be completed for the Moraga Adobe site.

- 1. If the archaeological deposits at the Moraga Adobe are determined to be potentially significant, they will be avoided, to the extent feasible.
2. If avoidance is not feasible, project impacts will be mitigated in accordance with the recommendations of the evaluating archaeologist and CEQA Guidelines Section 15126.4(b)(3)(C), which require development and implementation of a Data Recovery Plan that would include recommendations for the treatment of the discovered archaeological materials. The Data Recovery Plan will be submitted to the City of Orinda for review and approval. Upon approval and completion of the data recovery program of

PAGE 4 OF 23

PART 1 - PROJECT DESCRIPTION

The proposed project is to rehabilitate the Joaquin Moraga Adobe, the oldest residential structure in Contra Costa County. Rehabilitation of this structure is required as a condition of approval for the 20.3-acre J&J Ranch Subdivision, which was approved by City Council Resolution 49-15 on October 20, 2015. This Resolution approved the J&J Ranch subdivision vesting tentative map and certified the associated Environmental Impact Report. The subdivision divided the two existing parcels (16.5-acre APN 271-130-003 and 3.8-acre 271-150-002) into 14 lots: 13 lots approved for new single family homes, and the remaining 2.3 acre "Parcel A" where the Adobe is located. New homes on lots 1-13 will be considered under separate design review applications.

The proposed project will rehabilitate the building to its configuration circa 1848. The applicant has coordinated with the Friends of Joaquin Moraga Adobe on the proposed design. The existing paved driveway will be removed. Exterior alterations to the historic Moraga Adobe will include in-kind replacement of the roof, strengthening of the roof framing, wall finish repair, reconstruction of the attic stair, and repair of veranda paving. Existing windows and surrounds will be rehabilitated when possible, and windows too damaged to repair will be replaced in kind. The project will also involve removal of the 1940s additions, which are not historic resources. Interior alterations will include the removal of several non-historic elements, including the fireplace. Seismic retrofits and upgrades for the Moraga Adobe will be designed and implemented in accordance with the California Historical Building Code.

To support the proposed use of the Moraga Adobe as either a club (if the J&J Ranch HOA owns and operates the building) or a cultural institution (if Friends of Moraga Adobe purchase the property), several site amenities are also proposed. These amenities include an accessory structure, a parking lot with five parking spaces for use by either the Orinda HOA or the Friends of the Joaquin Moraga Adobe, one handicapped parking space, and one loading zone for a shuttle bus to transport visitors (non-residents) to the Moraga Adobe. The one-story accessory structure will be located adjacent to the historic rear elevation of the Moraga Adobe, to the southwest of the historic building, and will have two ADA unisex bathrooms and a storage room. The structure will be in the approximate location of a former wood-framed outbuilding noted in historic photographs of the Moraga Adobe. The accessory structure will be wood framed with board-and-batten siding, and will have a gabled roof with composition-shingle roofing.

Two permeable paver-clad ADA-accessible paths with a slope of less than 5 percent will provide access to the Moraga Adobe. One will lead from the accessible van loading zone in the parking lot to the west elevation of the Adobe. A separate path will lead from the main road to wind around the east elevation of the Adobe. Both paths will terminate at the north veranda of the Moraga Adobe, where the historic front entrance of the house is located.

Adjacent to the accessory structure to the south of the Moraga Adobe, a flat and open outdoor gathering space will be created. This space will have decomposed granite paving, and will be surrounded by a wood fence along its south and east edges. This gathering space will have four picnic tables and benches for school group activities. An outdoor kitchen to allow for demonstration and interpretation of period cooking and eating will be installed at this outdoor gathering area as well.

Approval of a Landmark Improvement Plan is required for Adobe rehabilitation (Orinda Municipal Code [OMC] Section 17.25.14). In addition, design review approval is required prior to an exterior change of any nonresidential building (OMC section 17.30.3 B).

PAGE 2 OF 23

STATEMENT OF OFFICIAL ACTION SOA-2017-005 FEBRUARY 28, 2017

the data recovery program, the archaeologist will prepare a report documenting the methods and findings. The report will be submitted to the City of Orinda. Once the report is reviewed and approved by the City of Orinda, a copy of the report will be submitted to the Northwest Information Center.

The applicant is meeting the requirements of this mitigation measure. An Archaeological Research Design and Testing Plan was prepared by WSA Inc in May 2016 and was approved by the City of Orinda. In accordance with this plan, WSA conducted test trenching throughout the specified project area from June 6, 2016 to June 8, 2016. This trenching revealed that there is a light scatter of artifacts in the upper 30 - 40 cm around the Adobe but that utilities, twentieth-century renovation activities, and natural processes have disturbed this layer. Only two of the 10 test trenches (test trenches 1 and 3) recovered significant quantities of historic materials and intact archaeological features. Both of these trenches were located north of the Adobe. Test trench 1 was located in an area previously identified as "Concentration 1" and test trench 3 was located immediately adjacent to the adobe to the north. As a result of these findings, WSA recommends avoidance of both of these test trench areas because they are potentially significant. As stated in Mitigation Measure Cultural-3A, if avoidance is not feasible, a data recovery plan will be developed, submitted to the City for review and approval, and implemented. WSA has completed an Archaeological Site Record for the Moraga Adobe site to be provided to the Northwest Information Center. See Exhibit A, Project-Specific Condition of Approval #3.

Mitigation Measure Cultural-3B: Training and Discovery. A qualified archaeologist shall conduct a training session for all construction personnel prior to the beginning of construction. Training shall address the proper procedures to follow in the event that cultural resources are uncovered during excavation and shall include an explanation of the regulatory policies protecting resources; basic identification of cultural resources; and the protocol to follow in case of a discovery of such resources. The protocol shall include the following:

- 1. If deposits of prehistoric or historic archaeological materials are encountered during project activities outside the Moraga Adobe site, all work within 25 feet of the discovery will be stopped and qualified archaeologist meeting federal criteria under 36 CFR Part 61 will be contacted to assess the deposit(s) and make recommendations.
2. If the deposits are determined to be non-significant, no further action is necessary.
3. If the deposits are determined to be significant, avoidance or data recovery pursuant to Mitigation Measure Cultural -3A shall be implemented.

Training will be required per Mitigation Measure Cultural-3B. See Exhibit A, Project-Specific Condition of Approval #4.

Mitigation Measure Cultural-4: Paleontological Monitoring. The Project applicant shall be responsible for preparation and implementation of a Paleontological Monitoring Plan that ensures paleontological monitoring during construction activities; avoidance measures; implementation of a paleontological salvage program developed by a professional paleontologist should artifacts be discovered; provisions for recovered specimens to be housed in an institutional paleontological repository; and preparation of a Final Report to be reviewed by a vertebrate paleontologist designated by the City.

Development of a Paleontological Monitoring Plan will be required per Mitigation Measure Cultural-3B. See Exhibit A, Project-Specific Condition of Approval #5.

PAGE 5 OF 23

PART 2 - FINDINGS OF APPROVAL

The Planning Commission (Commission) hereby determines that the proposed project, with the required conditions of approval as contained in Exhibit A, complies with the applicable standards of the Orinda Municipal Code (OMC) including the applicable discretionary design review and tree removal standards as follows:

J&J RANCH SUBDIVISION CONDITIONS OF APPROVAL AND MITIGATION MEASURES

The rehabilitation of the Moraga Adobe is subject to conditions of approval and mitigation measures associated with City Council Resolution 49-15.

J&J Ranch Subdivision Project-Specific Conditions of Approval. The following are project-specific conditions of approval related to the Adobe, building on the MOA with the Friends of the Joaquin Moraga Adobe:

- 3. The applicant will apply for a Zoning Map Amendment and a General Plan Amendment for the Adobe parcel at the time of applying for the Final Map approval.
4. A general use permit, issued by the City of Orinda, will be required prior to use of the Moraga Adobe.
5. Use of the Moraga Adobe for residential purposes is prohibited, as noted on the VTM.
6. Prior to commencement of restoration work on the Moraga Adobe, the applicant will apply for approval of a Landmark Improvement Plan, consistent with the mitigation measures identified in the EIR for the Project and consistent with OMC section 17.25.17.
9. In the event that the Friends do not purchase the Moraga Adobe, restoration will commence upon issuance of the seventh certificate of occupancy for homes built on the Project site, or upon the transfer of the eighth project lot to a third party purchaser, whichever occurs first. Restoration of the Moraga Adobe shall be completed within 24 months of the commencement of construction.
10. In the event the Friends purchase the Moraga Adobe, restoration work will commence within 30 days of the close of escrow and shall be completed within 24 months of the commencement of construction.
11. In the event the Friends purchase the Moraga Adobe, the applicant will seek approval to construct separate bathroom facilities and a storage area on the Adobe Parcel at a location to be mutually agreed upon by the applicant and the Friends, as specified in the MOA Between the Applicant and Friends of the Joaquin Moraga Adobe, dated March 26, 2013.
12. The applicant shall post a bond to guarantee completion of the Moraga Adobe restoration.
13. The applicant shall not transfer title of the Moraga Adobe and Moraga Adobe parcel until restoration of the Moraga Adobe has been completed consistent with the Landmark Improvement Plan.

By submitting the Landmark Improvement Plan for review by the Planning Commission, the proposed project meets Condition of Approval #6 above. The other conditions listed above

PAGE 3 OF 23

STATEMENT OF OFFICIAL ACTION SOA-2017-009 FEBRUARY 28, 2017

Mitigation Measure Cultural-5: Discovery of Human Remains. In the event that human remains, or possible human remains are located during Project-related construction excavation, the California Health and Safety Code section 7050.5(b) will be implemented.

See Exhibit A, Project-Specific Condition of Approval #6.

Mitigation Measure Trans-4A: Limitations on Public Access to the Moraga Adobe. Consistent with the MOA, access for non-residents to the Moraga Adobe shall be limited to the following:

- 1. The size of vehicles used by groups to access the Moraga Adobe shall be restricted. Full size school buses and other vehicles that accommodate 45 passengers or more shall not be used to transport visitors to the Moraga Adobe site. The number of parking spaces at the Moraga Adobe parcel shall be limited to an area where one shuttle bus may load and unload passengers, plus one handicapped parking space.
2. The number of days that the Moraga Adobe may be toured shall be no more than 30 days per year.
3. The maximum size of a school group visiting the Moraga Adobe site shall be 60 persons.

The proposed project as designed by Garavaglia Architecture complies with the limit of one shuttle bus loading area and one handicapped parking space for visitors. Additional parking is provided for regular use of the Moraga Adobe by the property owner (either J&J Ranch HOA or Friends of the Joaquin Moraga Adobe).

ZONING REQUIREMENTS

Planning staff has reviewed the project for compliance with the quantitative criteria of Title 17. The Moraga Adobe parcel is currently zoned RL-40, and the building meets all RL-40 setbacks, height and floor area limitations. However, per City Council Resolution 49-15, Project-Specific Condition of Approval 3, the applicant will apply for a Zoning Map Amendment and General Plan Amendment for the Adobe parcel at the time of applying for the Final map approval. The applicant will apply to change the zoning and General Plan designation for the parcel to Parks and Recreation. Per Orinda Municipal Code (OMC) Section 17.10, development standards on Parks and Recreation parcels are determined by the Planning Commission. Therefore, this report does not evaluate the project on RL-40 standards. When General Use Permit and Zoning Map Amendment Applications are filed for this project, the Moraga Adobe will be evaluated under zoning standards assigned at that time.

The proposed project meets height and setback requirements for accessory structures. The project meets parking standards with the following exception: if the Friends of the Joaquin Moraga Adobe do not purchase the Adobe, the parcel will be owned by the J&J Ranch HOA and the building will be considered a "club or lodge" with a requirement of 1 parking space per 50 square feet of gathering space. Assuming that the Adobe's "parlour" is the only gathering space, this would mean that 12 parking spaces would be required. The proposed design has provided the five spaces required for the building's use as a "cultural institution" if the Friends of the Joaquin Moraga Adobe purchase the parcel. At the time of application for a use permit for the parcel, if the Friends do not purchase the parcel, the applicant must either provide the additional parking required for a club/lodge or must apply for a Variance for this parking requirement. See Exhibit A, Project-Specific Condition of Approval #7.

PAGE 6 OF 23



582 MARKET STREET SUITE 1800 SAN FRANCISCO, CA 94104 T: 415.391.9633 F: 415.391.9647 www.garavaglia.com

MORAGA ADOBE

AT J&J RANCH REHABILITATION

24 ADOBE LANE ORINDA, CA 94563



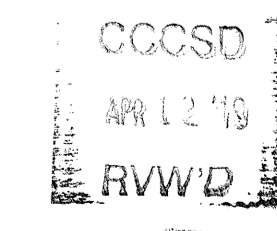
CONDITIONS OF APPROVAL SHEET 1 OF 4

Table with project details: PROJ. NO. 2016-051, SCALE NO SCALE, DATE 28 FEB 2017, PHASE PERMIT, DRAWN HA, CHECKED AW, NO. DATE 30 APR 2018, REVISION 19-003473

PERMIT SHEET CITY OF ORINDA PLANNING COMMISSION

REVIEWED SEP 23 2019

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SHEET NO.

A-0.02

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BASIC DESIGN REVIEW STANDARDS (§17.30.5)

1. Siting and Neighborhood Context

The proposed development is designed and located on the site so that it is visually harmonious with, but not necessarily identical to, other structures in the neighborhood. The proposed development is designed to blend into the existing landscape and natural context, protect undeveloped ridgelines and hillsides, maintain the dominance of wooded and open ridges and hillsides, and preserve significant or unique scenic vistas.

The Moraga Adobe sits on a plateau at the top of a knoll in the center of a hilly 20.3 acre property, with views to the surrounding hills and valleys as well as Mount Diablo in the distance. The property abuts the Moraga golf course to the south, Orinda single family neighborhoods to the east and west, and Del Rey Elementary to the north. Once the final J&J Ranch subdivision map is approved, the Adobe parcel ("Parcel A") will directly abut other lots within the subdivision. The lot will be 2.3 acres with front and rear street frontage onto a new private street called Adobe Lane. The lot will be bordered on either side by single family homes on Lots 11 and 12, and will be across the street from Lot 7.

"Parcel A" is undeveloped, with the Adobe structure near the flat top of the parcel and no development on the steeper downslope portion of the parcel. The lot is vegetated with oak woodland and ground cover. No trees will be removed for the proposed project. An accessory structure and paved parking lot will be added, but the existing paved access road and part of the existing main structure will be removed; as a result, the current balance of natural and man-made structures on the site would remain.

The surrounding residential properties are developed with traditional one and two-story custom homes. The neighborhood is nearly built out, with homes within a 300-foot radius of the property constructed as early as 1954 and as recently as 1999. According to Contra Costa County Building Inspection Department records, homes in this neighborhood have an average floor area ratio (FAR) of 12%, indicating small homes relative to lot size in keeping with the City's semi-rural aesthetic. The proposed project involves a larger lot and smaller proposed structure size than average for homes within a 300-foot radius, resulting in an FAR of only 2.2%. The Moraga Adobe will also be a different style than surrounding homes, since it will be restored to its historic adobe aesthetic which will obviously contrast with the mid- to late-20th century home designs of the surrounding neighborhood as well as the new homes to be constructed in the J&J Ranch subdivision. However, the purpose of the project is to renovate the project in a historically accurate fashion, so it is not appropriate for the building to blend with surrounding residences. Views to or from the parcel will not be negatively affected by the proposed project.

2. Design

The design elements are visually harmonious, in scale with the size of the structure, and balance environmental considerations. If the proposed development is an addition or remodel of an existing structure, the existing construction and proposed construction are visually harmonious. Facades and exterior walls shall be designed to reduce the blocky or massive features of building surfaces and provide articulation.

The Moraga Adobe was originally constructed as a simple rectangular adobe home articulated with covered porches. Subsequent additions to the structure and site starting in the 1940s compromised the design integrity of the original structure and covered the adobe walls with other materials. The proposed project will remove these additions and restore the original

PAGE 7 OF 23

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The Moraga Adobe's 100-year period of significance (1841-1941) takes into account multiple changes that occurred to the building that have acquired significance in their own right, beyond the initial construction of the building in 1841. The proposed Project will retain and preserve all surviving elements of the building from this period of significance. The elements to be removed from the building date from after the period of significance, and as such, do not need to be retained. For these reasons, the proposed Project is compliant with Standard 4.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

The established character-defining features of the Moraga Adobe that should be retained (or repaired or replaced in-kind if necessary) include the following:

- The original adobe walls, which remain inside the north, east and west walls (including the walls' relative orientation)
- The 4' by 7' door opening in the center of the north façade, flanked by two 4' by 5' window openings
- The hipped roof form and one-and-a-half story height at the front portion of the building
- Access to the attic via an external staircase on the building's west side (although the staircase itself is a replacement and does not appear to be historic)
- The building's rural setting atop a knoll with extensive views of the valley below and hills beyond.

The Moraga Adobe's original adobe walls are among its most distinctive features, and are a valuable example of historic construction techniques and craftsmanship. As part of the proposed Project, the existing cement plaster finish that is obscuring the adobe walls will be removed, and the historic adobe will be repaired and strengthened. Door and window openings will be retained. The historic hipped roof form and one-and-a-half story height will be retained, as will the external attic staircase access. The accessory structure and site amenities proposed to support the Project's use change to a cultural institution will be minimal and primarily located behind the historic building, allowing it to retain a setting with a rural feeling as well as its views of the surrounding valley and hills. As the proposed Project includes the rehabilitation of the above-listed elements, it is compliant with Standard 5.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive features, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The Moraga Adobe's 100-year period of significance (1841-1941) takes into account multiple changes that occurred to the building that have acquired significance in their own right, beyond the initial construction of the building in 1841. The proposed Project will retain and preserve all surviving elements of the building from this period of significance. The elements to be removed from the building date from after the period of significance, and as such, do not need to be retained. For these reasons, the proposed Project is compliant with Standard 6.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

PAGE 10 OF 23

structure's design. Exterior materials used for the Moraga Adobe will be whitewash finish on the adobe wall, wood trim at window opening heads and sills, metal gutters and weathered wood shake roofing. The new accessory building will have vertical wood board and batten siding, composition shingles and metal gutters. Site improvements will include permeable pavers and three-board wood fencing. These changes to the building will result in a design that is more harmonious than the current structure.

3. Privacy, views, light and air

The proposed development does not impair the existing views, block access to light and air, or infringe on the privacy of neighbors in a substantial fashion. In considering this factor, decision makers shall balance the importance of minimizing impacts on neighboring properties and the applicant's ability to develop the property.

The Moraga Adobe is at the top of a knoll on a large property and is not currently visible from off-site except from the golf course to the south. Once the final map for the J&J Ranch subdivision is approved, there will be new single family residences on Lots 11, 12 and 7 with direct view of the Adobe. It is assumed that these homes will be designed with landscaping for privacy screening from direct views from visitors to the Adobe. Also, the proposed project includes a 4' high wood fence to screen the parking lot from view from Lot 11. The proposed project will not change the height of the main structure, and the addition of the proposed accessory structure will not impact views. Moreover, per the J&J Ranch Environmental Impact Report Mitigation Measure AES-3, the deed recorded for Lot 11 must include notice that screening landscaping is required to be installed and maintained by the landowner between any structures building on this lot and the Moraga Adobe. This screening landscaping is intended to minimize the prominence of structures in the views from the Adobe while retaining farther-off views of the ridge line.

4. Landscaping

Primary landscaping elements complement and are appropriate for the structure, the site, and the neighborhood.

The proposed project does not include a landscaping plan. There is one tree on site with a canopy which encroaches into the proposed project area. Per the arborist inventory and report prepared for the subdivision approval, the tree in question (#597) is a 20" diameter Southern magnolia. This species is not protected, but staff suggests that tree be preserved during construction in order to ensure that tree survives and can provide shade to visitors in the picnic area as well as screening from surrounding residential parcels. See Exhibit A, Project-Specific Condition of Approval #8.

HISTORIC LANDMARK IMPROVEMENT PLAN STANDARDS (§17.25.5)

The proposed change:

- Will not adversely affect a significant historical or aesthetic feature of a historical landmark and is appropriate and consistent with the spirit and purpose of this chapter; or
- Is the necessary and appropriate method of correcting an unsafe or dangerous condition when the condition has been declared in writing to be unsafe or dangerous by the Chief Building Inspector, Fire Chief or Health Department Officer. In such case, only the work necessary to correct the condition is permitted. Such work shall be done with regard for

PAGE 8 OF 23

Chemical treatments will not be used for the proposed Project, and the physical treatments to address rehabilitation of the historic building materials will be completed sensitively. The treatments in the proposed Project's scope of work will not cause damage to the historic materials, and as such the proposed Project is compliant with Standard 7.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

If ground disturbances are necessary to address foundation or drainage issues, or to reorient or construct new parking or other site features at the proposed site, care will be taken to limit potential damage to archeological materials. Compliance with local and state requirements regarding archaeological materials discovered during construction will be followed. At the current time, the proposed Project is compliant with Standard 8.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The proposed Project to rehabilitate the Moraga Adobe and change its use to a cultural institution or club/ lodge will not include any work that would destroy historic materials that characterize the property. No new additions are proposed for the Moraga Adobe itself, only the removal of previously constructed additions that date to outside of the period of significance. The accessory building and site amenities associated with the property's change in use will be differentiated from the historic Moraga Adobe by their materials and design. The Restroom/Storage building will have simple board-and-batten cladding and a gabled roof clad with composition shingles, allowing it to be differentiated from the historic adobe building both in materials and form. At the same time, the design of this new accessory structure takes inspiration from vernacular farm buildings, allowing it to be compatible with the historic adobe and its rural setting. The minimal design and neutral materials of the site amenity-related alterations – including the parking lot, paths, and fenced gathering area – will be compatible with the historic Moraga Adobe site while also being differentiated from the historic building. For these reasons, the proposed Project is compliant with Standard 9.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

No new additions are proposed to the historic Moraga Adobe as part of the proposed Project, and all new construction on the site – including the accessory Restroom/Storage structure and the site amenities – will be located adjacent but not attached to the Moraga Adobe. As such, it would be possible to remove the new construction related to the proposed Project in the future while retaining the form and integrity of the Moraga Adobe and its immediate environment. For these reasons, the proposed Project is compliant with Standard 10.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

The Planning Commission finds the project Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA) in accordance with Section 15331 (Historic Resource Restoration/Rehabilitation) of the CEQA Guidelines (Sections 21083 and 21084, Public Resources Code).

PAGE 11 OF 23

preserving the landmark; or

3. Is necessary to avoid extreme hardship to the owner or applicant because of conditions peculiar to the particular landmark and not created by an act of the owner. The burden is on the applicant to present evidence of extreme hardship.

The proposed project will rehabilitate the Moraga Adobe to the way it looked in 1848, during its period of historic significance. The current structure will be substantially changed in a way which will better reveal the historical features of this landmark.

HISTORIC LANDMARK IMPROVEMENT PLAN: SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION (J&J RANCH EIR MMRP #CULT-2)

The following findings were provided by Garavaglia Architecture Inc and were reviewed by Staff.

1. A Property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The Moraga Adobe was historically used as a residence and agricultural support structure. With the proposed project, the property would be placed in a new use as a cultural institution. While the building would not be used for its historic purpose, its interior will be rehabilitated to allow for the public to view the adobe as it appeared when it served its historic use as a residence. The change in use would not negatively affect defining characteristics of the building, but would instead return the building's interior and exterior to more closely resemble its appearance during its period of significance. Alterations to the site associated with the change of use, including site amenities and the accessory Restroom/Storage building, will be located to the rear of the historic adobe and will be designed in a manner that does not detract from the historic character of the site. As such, the proposed Project is compliant with Standard 1.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

No character-defining features or materials of the property will be removed or altered as part of the proposed project. Instead, materials on the parcel dating to outside of the established period of significance – including the 1941 additions to the house and a pool – will be removed, allowing the historic character of the adobe to be more clearly expressed. For these reasons, the proposed Project is compliant with Standard 2. Note that the pool will be removed as part of the development of J&J Ranch Lot 11.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

No conjectural features or architectural elements from other buildings will be added to the Moraga Adobe as part of its proposed rehabilitation. In addition, the accessory Restroom/Storage building and site amenities proposed for the Moraga Adobe parcel will not be designed in a way that will create a false sense of historical development, but will be differentiated from the historic Moraga Adobe in their appearance. As such, the proposed Project is compliant with Standard 3.

PAGE 9 OF 23

GENERAL PLAN CONSISTENCY

The Commission hereby determines that the proposed Project is consistent with the following Goals and Objectives of the General Plan apply to this Project:

1. Land Use: Guiding Policies 2.1.1

- Maintain the semi-rural character of Orinda.
- Maintain the dominance of wooded and open ridges and hillsides.

2. Conservation Element: Guiding Policies 4.1.1

- Preserve Orinda's historic structures and sites, unique trees and landforms.
- Achieve aesthetically sensitive grading that conforms to the natural contours, ensures safety and preserves trees and other vegetation to the greatest practical extent.

PAGE 12 OF 23

MORAGA ADOBE
 AT J&J RANCH
 REHABILITATION
 24 ADOBE LANE
 ORINDA, CA 94563

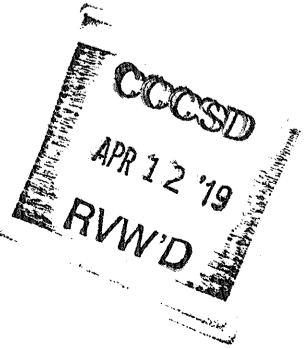


**CONDITIONS
 OF APPROVAL
 SHEET 2 OF 4**

PROJ. NO.	2016 - 051
SCALE	NO SCALE
DATE	28 FEB 2017
PHASE	PERMIT
DRAWN	HA
CHECKED	AW
NO. DATE	19-009893
REVISION	30 APR 2018
PERMIT SET	19-003473
CONTRA COSTA COUNTY	BUILDING INSPECTION DIVISION
PERMIT NUMBER	
SEP 23 2019	
REVISION	

THESE PLANS MUST BE KEPT ON THE PREMISES AND ACCESSIBLE TO INSPECTORS AT ALL TIMES

FOR COMPLIANCE WITH COUNTY BUILDING ORD. CODES THE STAMPING THIS DOCUMENT SHALL BE HELD BY PERMITTEE TO BE APPROVED. THE PLAN AS AN OFFICIAL DOCUMENT IS THE ONLY ONE SHOWN. SHALL BE MADE WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL.



SHEET NO. **A-0.03**

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APPROVAL

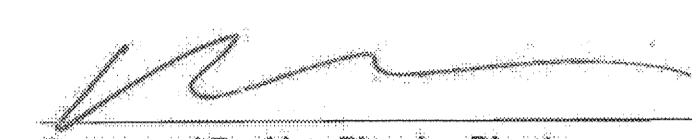
The Planning Commission of the City of Orinda at a Regular meeting on February 28, 2017 hereby approved the Project by the following vote:

COMMISSIONERS	AYES	NOES	ABSENT
Willy Mautner, Chair	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Brandyn Iverson, Vice Chair	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Joe McGrath	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Claire Roberts	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Louise Adamson	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
John Lynn Smith	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
David Pamigoni	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

PART 3 – CERTIFICATION BY PLANNING DIRECTOR

I certify that the findings and decision of the Planning Commission made on February 28, 2017 are set forth in this Statement of Official Action, which was adopted by the Planning Commission on February 28, 2017.

ATTEST:


 Drummond Buckley, Planning Director

3-14-17
 Date

EXHIBIT A – CONDITIONS OF APPROVAL

DRA-2017-005 & Historic Landmark Improvement Plan – 24 Adobe Lane

THE CITY OF ORINDA PLANNING COMMISSION HEREBY APPROVES THE PROPOSED PROJECT, PURSUANT TO THE COMMISSION'S FINDINGS AS STATED IN THE STATEMENT OF OFFICIAL ACTION, PART II, AND SUBJECT TO THE FOLLOWING CONDITIONS:

NOTICE TO APPLICANTS: WHEN SUBMITTING A REQUEST FOR BUILDING PERMIT APPROVAL, THE AUTHORIZED AGENT/PROPERTY OWNER IS REQUIRED TO PRINT ON THE PROJECT PLANS, A COPY OF THE CONDITIONS BELOW. ALL CONDITIONS ARE STANDARD CONDITIONS OF APPROVAL UNLESS INDICATED IN ITALICS.

Project-Specific Conditions

- The project must meet all Project-Specific Conditions of Approval per Orinda City Council Resolution 49-15 with the following exceptions:
 - If the Friends do not purchase the Moraga Adobe, restoration will commence at the latest upon issuance of the seventh certificate of occupancy for homes in the Project or upon transfer of the eighth project lot to a third party purchaser, whichever occurs first. If the Friends of the Moraga Adobe purchase the Moraga Adobe, restoration will commence at the latest within 30 days of close of escrow. Restoration shall be completed within 24 months of the commencement of construction.
 - Condition of Approval #19 shall have no further force or effect.
- Prior to issuance of building permits, J&J Ranch LLC shall enter into an agreement with the City of Orinda regarding the Secretary of the Interior's Standards for Rehabilitation per Mitigation Measure Cultural-2 of the J&J Ranch subdivision Environmental Impact Report.
- Construction activity at the Moraga Adobe shall comply with the recommendations provided page 75 of the Draft Archaeological Testing Report prepared by WSA in October 2016.
- Prior to start of construction on rehabilitation of the Moraga Adobe, a qualified archaeologist shall conduct a training session for all construction personnel per Mitigation Measure Cultural-3b of the J&J Ranch subdivision Environmental Impact Report.
- Prior to start of construction on rehabilitation of the Moraga Adobe, a Paleontological Monitoring Plan must be prepared and implemented per Mitigation Measure Cultural-4 of the J&J Ranch subdivision Environmental Impact Report.
- In the event that human remains are located during construction activities, California Health and Safety Code section 7050.5(b) provisions must be implemented per Mitigation Measure Cultural-5 of the J&J Ranch subdivision Environmental Impact Report.
- If a General Use Permit Application is submitted for a club/lodge, the applicant

must either provide additional parking required for a club/lodge or must apply for a Variance from this parking requirement.

- Erect tree protection fencing with a diameter of at least 12 feet around tree #597 during construction.

Standard Conditions

PLANNING CONDITIONS

- The applicant shall submit the building permit application for City of Orinda review and approval and shall be responsible to implement and pay all costs associated with preparation of the building permit application.
- All development shall conform to plans submitted on February 22, 2017 on file in the Planning Department, except as specified by specific conditions provided above.
- The colors and materials for the exterior of the proposed project shall match those presented at the February 28, 2017 hearing and on the colors and materials board on file in the Planning Department. At time of building permit application, the applicant shall submit an 8.5" x 11" sheet with color samples, per the Commission's approval, to be kept with the project file. The approved colors and materials shall be specified on the building permit plan set.
- When permitted in the public right-of-way, the following activities shall only be allowed directly in front of the subject property, unless prior written consent of the City and affected property owner(s) is obtained.
 - Delivery, unloading and staging of construction materials and equipment
 - Installation of above or underground utilities.
 - Installation of any drainage facilities, including but not limited to, drainage pipes, drain inlets, drain outfall, culverts, swales, etc.
 - Installation of retaining walls, mailboxes, curbs.
 - Installation of temporary or permanent driveways.
 - Installation of landscaping.
 - To the greatest extent possible, parking of workers' vehicles.
- All rubbish and dead vegetation shall be removed from the site prior to final inspection by staff.
- The site shall be properly maintained during construction or a Stop-Work Order will be issued by the Planning Director (i.e. refuse shall be discarded promptly, construction materials shall be neatly stored, and the public right-of-way shall not be encroached upon).
- Minor plan changes shall be subject to review and approval by the Planning Director prior to implementation. Major plan changes shall be subject to the review and approval of the Planning Commission.

- Prior to issuance of a building permit, the applicant shall submit building plans, with the project conditions of approval printed on them, to the Planning Department for review.

- The applicant shall submit a plan for recycling building and construction materials that are generated from the demolition of existing buildings, and for recycling waste materials from construction, prior to the issuance of a demolition permit and/or building permit. Prior to issuance of a certificate of occupancy for the project, the applicant shall submit to the Planning Department documentation that the materials have been recycled.
- No construction, alteration, demolition, grading, excavation or repair activity ("construction activities") may occur in the city during times other than those set forth in Orinda Municipal Code §15.04.180.
 - Weekdays: Monday through Friday, construction activities may occur between the hours of 8 a.m. and 6 p.m.
 - Weekends: On Saturdays and Sundays, construction activities may occur between the hours of 10 a.m. and 5 p.m., except that on Sundays only a resident of the site and one additional person may work on the site.
 - Heavy Construction Equipment: Use of heavy construction equipment is prohibited on Saturdays and Sundays.
- The applicant shall apply for an encroachment agreement for any above-ground work within the right of way.
- The applicant shall apply for a tree removal permit for the removal of any protected tree.

TREE MANAGEMENT CONDITIONS

- If a protected tree proposed for removal can be relocated, the applicant shall move the tree to a suitable location on a site shown on the approved plans.
- The applicant shall guarantee the health and vigor of each protected tree required to be preserved during the construction process and for two years after construction is certified as complete.
- The applicant shall replace a protected tree that dies during the guarantee period in accordance with the tree replacement provisions of subsection F of this section.

Protected Tree Replacement

An applicant shall replace a protected tree in accordance with the following standards:

- For each six inches or fraction thereof of the aggregate diameter of trees approved for removal, the applicant shall plant 1 native tree with a diameter no less than 0.75 inches. One-third of the replacement tree requirement may be fulfilled by planting native shrubs that mature at a height no less than five feet. The applicant may substitute a larger number of smaller trees or a smaller number of larger trees if approved by the Director

based on a finding that tree replacement will be more beneficial to the health and vigor of all trees on the property.

- If the development site cannot accommodate the replacement trees, with the written approval of the Director and the property owner, the applicant may plant the replacement trees on public or private property located in Orinda. Alternatively, the applicant may make an in lieu payment of one hundred and twenty-five dollars (\$125.00) for each replacement tree otherwise required. All in lieu payments shall be used for city landscape-related projects.

Care of Protected Trees

In order to protect each protected tree on a site where grading or building is to take place, an applicant shall meet the following requirements:

- Before starting, the applicant shall securely fence off every protected tree at the protected perimeter. The fence shall remain continuously in place for the duration of work undertaken in connection with the building or grading permit. The fenced area may not be used as a storage area or altered or disturbed except as may be permitted by the Planning Director.
- If the proposed development or work on-site encroaches upon the protected perimeter of a protected tree, the applicant shall take special measures, as approved by the Director, to allow tree roots to obtain oxygen, water and nutrients as needed.
- An authorized excavation, filling or compaction of the existing ground surface within the protected perimeter of a tree shall be minimized and subject to such reasonable conditions as may be imposed by the Director.
- No significant change in existing ground level may be made within the dripline of a protected or heritage tree.
- No burning or use of equipment with an open flame may occur near or within the protected perimeter.
- All brush, earth and debris shall be removed in a manner that prevents injury to the tree.
- No oil, gas, chemical or other substance that may be harmful to a tree may be stored or dumped within the protected perimeter of a protected tree or at any other location on the site from which such substances might enter the protected perimeter of a tree.
- Trenches for utilities shall avoid interfering with roots of protected trees wherever possible. If complete avoidance of the root zone is impractical, a tunnel shall be made below the roots. A trench shall be consolidated to serve as many units as possible. Trenching and tunneling within the protected perimeter shall be avoided to the extent possible and shall be done only under the on-site supervision of a professional arborist.
- No concrete, asphalt or other impervious paving shall be placed within the protected perimeter of a protected tree. No supplementary irrigation shall occur within the protected perimeter of a native oak.



CONDITIONS OF APPROVAL SHEET 3 OF 4

PROJ. NO. 2016 - 051
 SCALE NO SCALE
 DATE 28 FEB 2017
 PHASE PERMIT
 DRAWN HA
 CHECKED AW

NO. DATE REVISION
 30 APR 2018 PERMIT SET 893 -

19-003473
 CONTRA COSTA COUNTY
 BUILDING INSPECTION DIVISION
 PERMIT NUMBER

THESE PLANS MUST BE KEPT ON THE PREMISES AND ACCESSIBLE TO INSPECTORS AT ALL TIMES.

SEP 23 2019

CCCSD
 APR 12 '19
 RVW/D

BY THE FIELD
 FOR COMPLIANCE WITH THE BUILDING CODE & CODES THE SEALING OF THIS DOCUMENT SHALL BE HELD TO BE THE RESPONSIBILITY OF THE FIELD INSPECTOR. THE INSPECTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE FIELD INSPECTOR'S SIGNATURE AND THE FIELD INSPECTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE ARCHITECT'S SIGNATURE.

SHEET NO. A-0.04

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PUBLIC WORKS CONDITIONS

1. Damage to public roads caused by construction of applicant's project shall be repaired to the satisfaction of the Public Works Department at the applicant's expense prior to final building inspection. The owner shall post a bond to secure payment for damage to a city street caused by construction activity in connection with work authorized by the permit. The Public Works Department may waive this requirement when the construction activity will not foreseeably damage the street.
2. The applicant shall obtain an encroachment permit from the Public Works Department for all work proposed to be constructed in the public right-of-way. This permit shall be obtained prior to issuance of any permits.
3. An applicant may not place, maintain or operate steel-tracked grading or construction equipment with cleats on a public or private street without placing protective material beneath the equipment to protect the surface of the street.
4. Trash, scrap and debris shall be stored in a container on the construction site.
5. No person shall place or maintain a container in the public right-of-way without an encroachment permit.
6. No person shall place, install or maintain a portable sanitary facility on a construction site closer to the property line than the building setback line.
7. The City may temporarily prohibit or restrict stopping, parking or standing of vehicles along a street abutting a construction project where necessary for public safety. The restriction does not apply until the City places a sign or marking at the site. The special restriction shall be limited to the duration of the project.
8. Upon issuance of any permits for the project, the City may request carpooling to a construction site.
9. The City may designate a truck route for ingress and egress from the property during the term of the building permit upon findings that:
 - a. The designation of the truck route will minimize the impact of the construction such as noise, dust, traffic safety hazards and potential damage to pavement on a residential street;
 - b. Designation of the truck route will not unreasonably impair the contractor's access to the site or cause undue economic hardship.
10. The City shall require an applicant for a building or grading permit for a major improvement to rehabilitate the street pavement along the frontage of the property from the edge of the street to the center of the right-of-way.
11. New Single-Family Development: When required for: (1) continuity of existing curb and gutter; (2) street drainage; or (3) to ensure structural support for the edge of the street pavement, the City shall require that an applicant for a building permit in a single-family residential district install appropriate roadway improvements to the satisfaction of the City's Public Works Department.

6. Upon a finding that the existing drainage improvements are inadequate or need repair, the City shall require an applicant for a building permit for a major improvement to make to make drainage improvements along the frontage.
7. The drainage permit application shall include the written consent and waiver of liability given by each person having an interest in the property where work is to be performed (excluding a security interest) and who may be affected by it.
8. The applicant's soils engineer shall certify that any foundation design, site flatwork, irrigation, retaining walls, and/or site drainage shown on the plans being submitted for building permit are in conformance with the peer-reviewed soils report.
9. The owner/applicant should consult the project geotechnical engineer to provide geotechnical design and construction recommendations for the construction of a pool.
10. Prior to issuance of a grading permit for any site work that will result in a land disturbance of one acre or more, the applicant shall provide evidence to the City Building Official that a Notice of Intent for coverage under the State Construction General Permit has been filed and submit a copy of the Stormwater Pollution Prevention Plan (SWPPP) to verify compliance with the City's grading ordinance.

STORMWATER MANAGEMENT AND DISCHARGE CONTROL CONDITIONS

1. Every application for a project that is subject to the development runoff requirements in the City's NPDES Permit (a "C.3, regulated project") shall be accompanied by a Stormwater Control Plan (SCP) that meets the criteria in the most recent version of the Contra Costa Clean Water Program Stormwater C.3. Guidebook ("C.3 Guidebook").
 This requirement shall apply as follows to C.3-regulated projects:
 - b. Effective August 15, 2006, projects that create between 10,000 square feet and one acre of impervious surface: prepare and submit a SCP, including features and facilities to ensure runoff is treated before leaving the site and an evaluation of the feasibility of storage for later use. Excluded from this requirement are detached single-family homes that are not part of a larger plan of development are specifically excluded.
 - c. Effective October 14, 2006, projects that create one acre or greater of impervious surface: prepare and submit a SCP demonstrating compliance with hydromodification management by selecting one of four flow-control compliance options in Appendix C of the C.3 Guidebook. Where required, design project features and facilities for hydrograph modification management (flow-control) as well as stormwater treatment.
 - d. Effective December 1, 2011, auto service facilities, gas stations, restaurants, and uncovered parking lots that create over 5,000 square feet of impervious surface: prepare and submit a SCP, including features and facilities to ensure runoff is treated before leaving the site and an evaluation of the feasibility of storage for later use.

This requirement shall apply as follows to other projects (projects not falling within the definition of a C.3 regulated project):

12. At the time of building permit, the applicant shall be required to comply with the requirements of Municipal Code Chapter 15.32, "Building Permit Conditions," as such conditions apply to "Major Improvements." The applicant may be required to improve the frontage along the project site. The City shall determine these improvements and the applicant shall be informed of these improvements prior to building permit issuance.
13. The City shall require that a street extension to the property meet the applicable city-road standard set forth in §15.32.180. The City may modify this standard based upon unique topography which makes current city standards impractical or impossible.
14. The City shall require as a condition of a building permit for a major improvement that the applicant widen the public or private street along the property frontage so that it either (1) meets current standards for pavement width; or (2) matches the width of the existing street in the vicinity of the property if widening to current standards is unreasonable. The City shall impose this condition upon finding that: (1) the existing street is so narrow that it creates a safety hazard for pedestrians and vehicles; (2) the existing street fronting the applicant's property is narrower than other sections of the street in the same vicinity; or (3) increasing the width of the street is not an unreasonable burden given the topography of the area and the cost of the work.
15. The issuance of a permit or approval of plans and specifications shall not be construed as a permit or an approval of any work that violates the Orinda Municipal Code.

GRADING AND DRAINAGE CONDITIONS

1. A grading permit is required for all proposed earthwork in excess of 50 cubic yards. Excavation, grading, or construction of fills may be prohibited by the City Building Official during the months in which it finds that rainfall will likely preclude compliance with these requirements. As such, no grading shall be allowed from October through April, unless adequate erosion control measures are in place. A grading plan and an erosion control plan shall be approved by the Building Inspection Department prior to issuance of building permits if proposed earthwork exceeds 50 cubic yards. The erosion control plan shall specify Best Management Practices (BMPs) in the following six categories: erosion control, run-on and run-off control, sediment control, active treatment system (as necessary), good site management, and non-stormwater management. If the Building Official determines that the permittee has violated or failed to fully and adequately implement an approved erosion control plan, no grading shall occur under the permit from October through April.
2. Approval of grading permits by the Building Inspection Department shall be made subject to the following appropriate conditions or reservations required to protect public health, safety and general welfare: (a) completion of the work within a period approved by the City Building Official, (b) cleaning of the area and planting in accordance with approved plans, (c) designation of the area in which work may be done, (d) designation of the slope of excavation or filling, or the grade and elevation of excavation or filling, (e) reasonable provisions for controlling excessive dust, (f) hours of operation, (g) safety precautions to guide pedestrian and vehicular traffic, in or around, and by the operation, (h) posting of a good and sufficient bond to assure compliance with the conditions, and (i) other conditions deemed necessary by the City Building Official and based on accepted engineering practices.

- a. Effective May 1, 2010, projects requiring municipal approvals or permits: as encouraged or directed by local staff, preserve or restore open space, riparian areas, and wetlands as project amenities; minimize land disturbance and impervious surfaces (especially parking lots); cluster structures and pavements; include micro-detention in landscaped and other areas; direct runoff to vegetated areas; use Bay-friendly landscaping features and techniques; and include source controls.
- e. Effective December 1, 2012, projects creating or replacing between 2,500 and 10,000 square feet of impervious surface, including detached single-family home projects, shall include one or more of the following: direct roof runoff into cisterns or rain barrels for reuse; direct roof runoff onto vegetated areas; direct runoff from sidewalks, walkways, and/or patios on to vegetated areas; direct runoff from driveways and/or uncovered parking lots on to vegetated areas; construct sidewalks, walkways, and/or patios with permeable surfaces; construct bike lanes, driveways, and uncovered parking lots with permeable surfaces.
2. Prior to issuance of permits for building, site improvements, or landscaping, the permit application shall be consistent with the applicant's approved SCP and shall include drawings and specifications necessary to implement all measures in the approved SCP. The permit application shall include a completed Construction Plan C.3 Checklist and a draft Operations and Maintenance Plan as described in the C.3 Guidebook.
3. Drawings submitted with the SCP and Drainage Permit application (including structural, mechanical, architectural, grading, drainage, site, landscape, and other drawings) shall show drainage management areas as well as the details and methods of construction for pervious pavements, self-retaining areas, self-treating areas, areas draining to self-retaining areas, treatment and flow-control facilities, permanent source control BMPs, and other features that control stormwater flow and potential stormwater pollutants.
4. Prior to building permit final and issuance of a Certificate of Occupancy, the applicant shall submit a final Operations and Maintenance (O&M) Plan and execute any agreements identified in the SCP that pertain to the transfer of ownership and/or long-term maintenance of stormwater treatment or hydrograph modification BMPs (Operation and Maintenance Agreements, CC&Rs, etc).

MORAGA-ORINDA FIRE DISTRICT CONDITIONS

1. Prior to issuance of building permits, the applicant must submit to the Planning Department proof of plan approval by the Fire District.

3. Each watercourse shall be maintained so that water will flow adequately and unimpeded through the watercourse. An existing watercourse shall be left unaltered unless (1) improvement is necessary to protect life, health and property or (2) riparian restoration is required under Orinda Municipal Code Title 18. Maintenance, repairs and new construction shall be accomplished in an environmentally sensitive manner as provided in Title 18.
4. A drainage and watercourse alteration permit, per Orinda Municipal Code §18.03, shall be obtained from the Building Inspection Department prior to the issuance of any permits. The following acts or situations shall require a drainage permit:
 - a. Impair, impede, redirect or otherwise affect the existing flow (permanent or intermittent) of stormwater or other water in a watercourse or allow on the property or cause or permit the obstruction of the watercourse;
 - b. Construct, alter or repair a watercourse;
 - c. Excavate, grade or otherwise alter the surface of the land so as to affect the capacity of a watercourse;
 - d. Destroy or significantly alter vegetation at or near a watercourse, including without limitation cutting, clearing, grubbing, burning, removing, excavating or grading, except as is necessary to maintain or restore the hydraulic capacity of the watercourse or in compliance with riparian restoration requirements under Title 18;
 - e. Impair the use of an easement for drainage purposes;
 - f. Install or construct a new structure or improve or expand an existing structure within a watercourse. The term structure shall include but is not limited to pipes, culverts, buildings, swimming pools, bridges, patios, paving, fences, retaining walls, poles and similar improvements.
5. A drainage plan shall be approved by the City prior to issuance of any permits.

Attachments. The plan shall show all on-site and nearby off-site drainage details necessary to locate, delineate, illustrate, identify, justify and substantiate the proposed work, and the right and necessity of the applicant to perform the work, the adequacy of which shall be verified by the applicant's engineer.

Additional Information. The City may require soil investigation, tests of materials, environmental documents, engineering plans and investigations, technical reports and other permits as the enforcement officer considers necessary and proper.

Conditions of Approval. In approving the permit, the City may impose one or more conditions which are reasonably related to the public health, safety and welfare, including but not limited to riparian habitat restoration under Orinda Municipal Code §18.04, daylighting, stormwater runoff controls, pre-construction inspections and performance security.

Please refer to drainage plan checklist for additional details.



CONDITIONS OF APPROVAL SHEET 4 OF 4

PROJ. NO. 2016 - 051
 SCALE NO SCALE
 DATE 28 FEB 2017
 PHASE PERMIT
 DRAWN HA
 CHECKED AW

NO.	DATE	REVISION
30	APR 2018	PERMIT SET
19-003473		
BUILDING INSPECTION DIVISION		
PERMIT NUMBER		
SEP 23 2019		

REVIEWED FOR COMPLIANCE WITH COUNTY BUILDING AND CODES THE STAMPING OF THIS SEAL MEANS THAT THE SEAL HELD BY MEANT TO BE IN COMPLIANCE WITH THE BUILDING DEPARTMENT OF THE COUNTY OF CONTRA COSTA, CALIFORNIA. IT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE SEAL IS NOT VALID WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL.

CCCSD
 APR 12 '19
 RVWD

SHEET NO. **A-0.05**

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SHEET NOTES

1. PROPERTY LINES, EXISTING STRUCTURE, SITE FEATURES, CONTOURS & PROPOSED ROADWAY ARE BASED ON A SURVEY PREPARED BY CARLSON, BARBEE & GIBSON, INC., DATED OCTOBER, 2016.
2. PROPOSED SITE DESIGN, ALTERATIONS TO THE MORAGA ADOBE & ACCESSORY STRUCTURE ARE FURNISHED BY GARAVAGLIA ARCHITECTURE, INC.
3. SETBACKS SHOWN ARE PER THE CITY OF ORINDA MUNICIPAL CODE, FOR RL-40/PR ZONING.
4. SITE IS LOCATED IN A VERY HIGH FIRE HAZARD SEVERITY ZONE, SUBJECT TO THE REQUIREMENTS OF CBC CHAPTER 7A. SITE IS WITHIN A LOCAL RESPONSIBILITY AREA UNDER THE JURISDICTION OF THE MORAGA-ORINDA FIRE DISTRICT. MOFD REVIEW & APPROVAL MUST BE OBTAINED PRIOR TO THE START OF ANY CONSTRUCTION.

MORAGA ADOBE

AT J&J RANCH REHABILITATION

24 ADOBE LANE
 ORINDA, CA 94563

APPROVED BY ORINDA
 PLANNING DEPARTMENT
 SIGNATURE/DATE



KEY NOTES

- 1 ACCESSORY BUILDING WITH TWO UNISEX RESTROOMS, STORAGE ROOM & COVERED PORCH.
- 2 OUTDOOR KITCHEN AREA.
- 3 COMAL (GRILL).
- 4 HORNO (BEEHIVE OVEN).
- 5 PICNIC TABLES / OUTDOOR ACTIVITY AREA.
- 6 ASPHALT PAVING.
- 7 PERMEABLE PAVERS AT SIDEWALKS, AS SHOWN.
- 8 TURF BLOCK PAVERS @ SHUTTLE SPACE.
- 9 DECOMPOSED GRANITE PAVING (D.G.).
- 10 3' HIGH 3-BOARD REDWOOD FENCE.
- 11 4' HIGH REDWOOD FENCE.
- 12 CROSS-WALK.
- 13 BACK OF WALK.
- 14 20' WIDE CURB CUT FOR DRIVEWAY.
- 15 NATIVE PLANTING SCREEN.
- 16 6" CURB.
- 17 LINE OF EASEMENT FOR STREET.
- 18 EDGE OF (E) PAVEMENT.
- 19 (E) PAVEMENT TO BE REMOVED.
- 20 ACCESSIBLE VAN PARKING 8' x 19'.
- 21 SHUTTLE BUS LOADING ZONE 12' x 35'.
- 22 LARGE CAR SPACE.
- 23 SMALL CAR SPACE.
- 24 ACCESSIBLE PATH OF TRAVEL FROM PUBLIC SIDEWALK AND ACCESSIBLE PARKING.
- 25 ACCESS AISLE FOR ACCESSIBLE PARKING SPACE.

SITE PLAN

PROPOSED

PROJ. NO. 2016 - 051
 SCALE AS NOTED
 DATE 17 FEB 2017
 PHASE PERMIT
 DRAWN HA
 CHECKED AW

NO. DATE 19-009893-
 30 APR 2018 PERMIT SET
 19-008473
 CONTRA COSTA COUNTY
 BUILDING INSPECTION DIVISION
 PERMIT NUMBER

THESE PLANS MUST BE KEPT ON THE PREMISES AND ACCESSIBLE TO INSPECTORS AT ALL TIMES.
 SEP 23 2019
 REVIEWED
 FOR COMPLIANCE WITH THE BUILDING AND CODES THAT APPLY TO THE PROJECT. SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
 SHALL BE HANDLED WITHIN THE JURISDICTION OF THE BUILDING DEPARTMENT.

SHEET NO.
A-111

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1 PROPOSED SITE PLAN (PARTIAL)
 SCALE: 1/16" = 1'-0"

MORAGA ADOBE

**AT J&J RANCH
 REHABILITATION**

24 ADOBE LANE
 ORINDA, CA 94563

APPROVED BY ORINDA
 PLANNING DEPARTMENT

SIGNATURE DATE

SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING DEMOLITION OF ADJACENT AREAS.
2. REMOVE & OFF-HAUL (E) BUILDING ELEMENTS SHOWN DASHED AS DEMOLITION, OR AS NOTED, INCLUDING PARTITIONS, DOORS, FLOOR / ROOF FRAMING, & CASEWORK.
3. REMOVE ALL (E) FLOORING.
4. PROTECT IN PLACE ALL (E) WALL FINISHES, U.O.N.
5. PROTECT IN PLACE ALL (E) CEILING FINISHES, U.O.N.
6. REMOVE (E) ROOFING FOR STRUCTURAL WORK.
7. REMOVE (E) FURNACE, DUCTWORK & OTHER MECHANICAL EQUIPMENT, U.O.N.
8. REMOVE (E) PANELS, WIRING, LIGHTING & OTHER ELECTRICAL EQUIPMENT, U.O.N.
9. REMOVE (E) PLUMBING FIXTURES, FITTINGS, PIPING & HOT WATER HEATERS, U.O.N.
10. REMOVE MISCELLANEOUS NON-REAL PERSONAL PROPERTY, U.O.N.
11. COORDINATE DEMOLITION W/ PROPOSED ARCHITECTURAL & STRUCTURAL WORK.
12. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE, U.O.N.

KEY NOTES

1. REMOVE BRICK CHIMNEY & FIREBOX COMPLETE FROM FDN. UP THROUGH ROOF.
2. AVOID ANY DAMAGE TO (E) ADOBE WALL TO REMAIN, WHEN REMOVING (E) WOOD-FRAMED OR ADOBE WALLS.
3. PROTECT (E) WOOD KITCHEN CABINET IN PLACE, RECESSED INTO (E) ADOBE WALL.
4. REMOVE (E) FRAMED ADDITION COMPLETE INCLUDING BASEMENT & FDN.
5. REMOVE (E) ADOBE ADDITION COMPLETE INCLUDING FDN.
6. PROTECT (E) WD. PORCH COLUMNS IN PLACE, ON ALL SIDES.
7. REMOVE PATIO PAVING & PREP. FOR (N) PAVING.
8. REMOVE WINDOW & SECTION OF WALL BELOW FOR (N) DOOR.
9. REMOVE ALL (E) SUSPENDED CEILING & LIGHTING IN KITCHEN.
10. REMOVE (E) CONCRETE SLAB.
11. REMOVE (E) STONE PAVERS.

**FLOOR PLAN
 EXISTING / DEMO**

PROJ. NO. 2016 - 051
 SCALE AS NOTED
 DATE 17 FEB 2017
 PHASE PERMIT
 DRAWN HA
 CHECKED AW

NO. DATE REVISION

30 APR 2018	PERMIT SET
	19-008473

CONTRA COSTA COUNTY
 BUILDING INSPECTION DIVISION
 PERMIT NUMBER

THESE PLANS MUST BE KEPT ON THE PREMISES AND ACCESSIBLE TO INSPECTORS AT ALL TIMES.

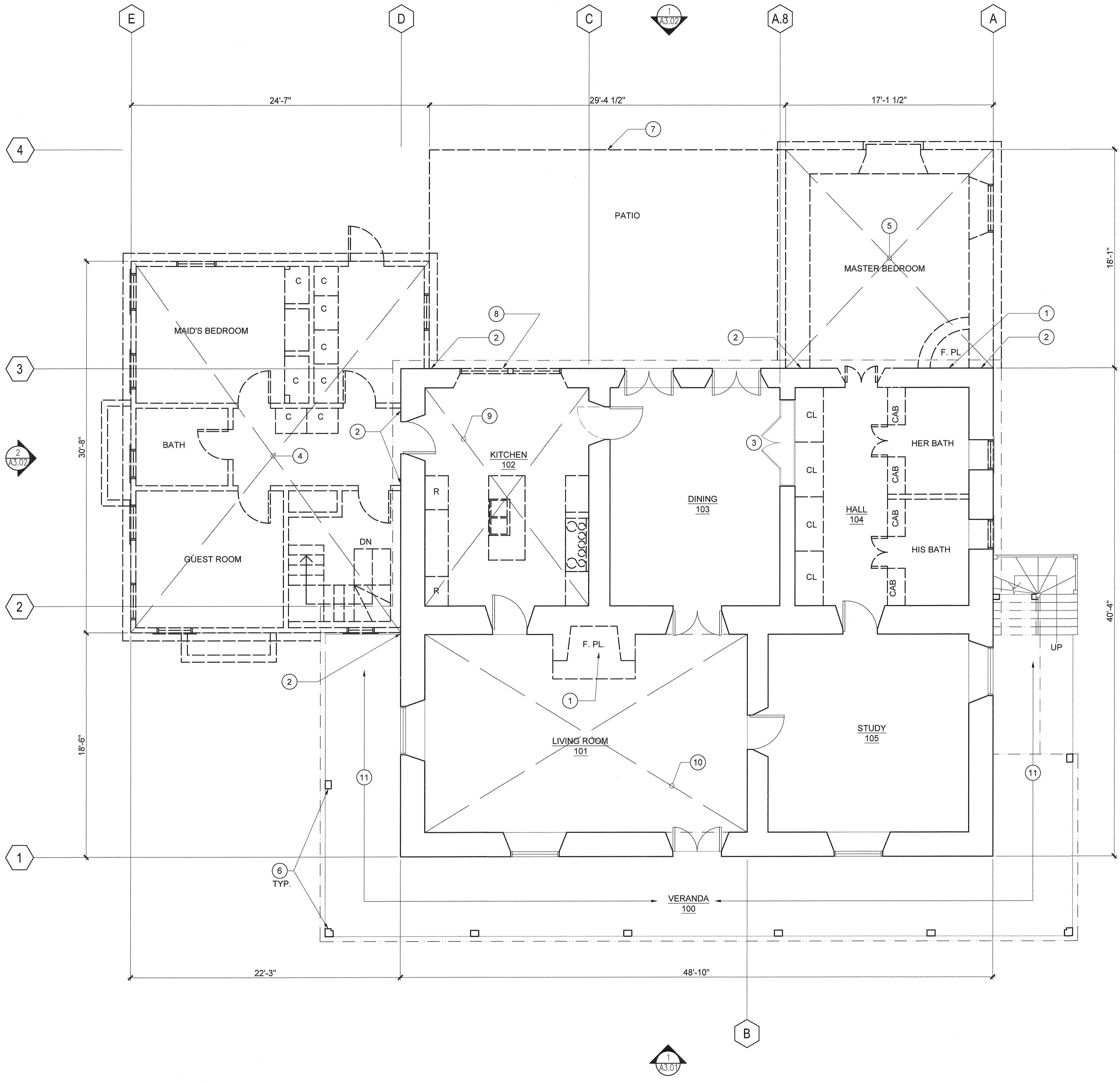
SEP 23 2019

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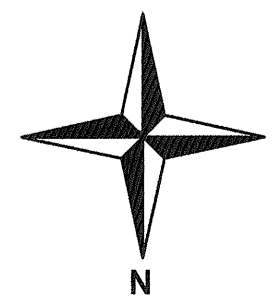
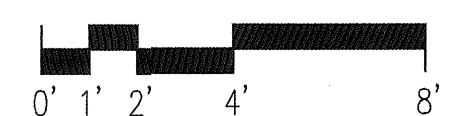
RW/D
 SHEET NO.

A-2.01

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1 FLOOR PLAN
 SCALE: 1/4" = 1'-0"



MORAGA ADOBE

**AT J&J RANCH
 REHABILITATION**

24 ADOBE LANE
 ORINDA, CA 94563

APPROVED BY ORINDA
 PLANNING DEPARTMENT

SIGNATURE/DATE

SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING DEMOLITION OF ADJACENT AREAS.
2. REMOVE & OFF-HAUL (E) BUILDING ELEMENTS SHOWN DASHED AS DEMOLITION, OR AS NOTED, INCLUDING PARTITIONS, DOORS, FLOOR / ROOF FRAMING, & CASEWORK.
3. PROTECT IN PLACE ALL (E) FLOORING, U.O.N.
4. PROTECT IN PLACE ALL (E) WALL FINISHES, U.O.N.
5. PROTECT IN PLACE ALL (E) CEILING FINISHES, U.O.N.
6. REMOVE (E) ROOFING FOR STRUCTURAL WORK.
7. REMOVE (E) FURNACE, DUCTWORK & OTHER MECHANICAL EQUIPMENT, U.O.N.
8. REMOVE (E) PANELS, WIRING, LIGHTING & OTHER ELECTRICAL EQUIPMENT, U.O.N.
9. REMOVE (E) PLUMBING FIXTURES, FITTINGS, PIPING & HOT WATER HEATERS, U.O.N.
10. REMOVE MISCELLANEOUS NON-REAL PERSONAL PROPERTY, U.O.N.
11. COORDINATE DEMOLITION W/ PROPOSED ARCHITECTURAL & STRUCTURAL WORK.
12. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE, U.O.N.

KEY NOTES

- 1 REMOVE (E) CHIMNEY COMPLETE.
- 2 REMOVE (E) ROOF ASSEMBLY w/ (E) ADDITION; SEE PROPOSED FOR EXTENT.
- 3 REMOVE (E) "CALIFORNIA FRAMED" ROOF.
- 4 REMOVE (E) ROOFING DOWN TO TOP OF (E) 1x SHEATHING @ ALL ROOF AREAS TO REMAIN.
- 5 LIMIT OF ROOF ASSEMBLY REMOVAL.
- 6 TOP OF (E) ADOBE WALL. PROTECT IN-PLACE.
- 7 LINE OF (E) WALL BELOW.

ATTIC & ROOF PLANS

EXISTING / DEMO

PROJ. NO. 2016 - 051
 SCALE AS NOTED
 DATE 17 FEB 2017
 PHASE PERMIT
 DRAWN HA
 CHECKED AW

NO. DATE REVISION

30 APR 2018 PERMIT SET

19-008473

CONTRA COSTA COUNTY
 BUILDINGS INSPECTION DIVISION
 PERMIT NUMBER

THESE PLANS MUST BE KEPT ON THE PREMISES AND ACCESSIBLE TO INSPECTORS AT ALL TIMES.

SEP 23 2019

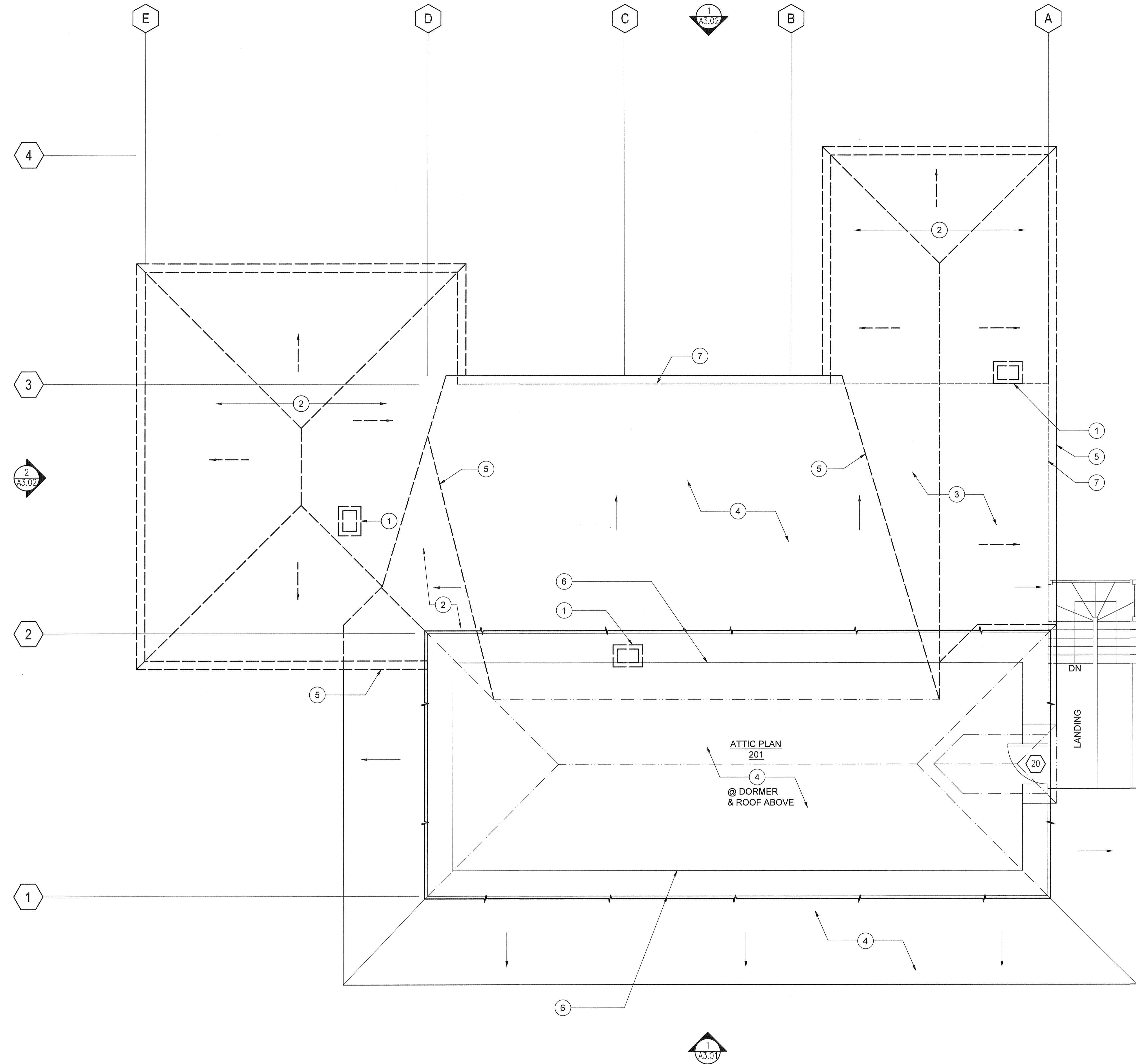
FILE # 19-008473

FOR COMPLIANCE WITH COUNTY BUILDING CODE & ACCESS THE TRAINING OF THE CODE. SEE 19-008473 - HELD BY PERMIT # 19-008473. THESE PLANS SHALL BE MADE WITHIN 10 BUSINESS DAYS FROM THE DATE OF APPROVAL.

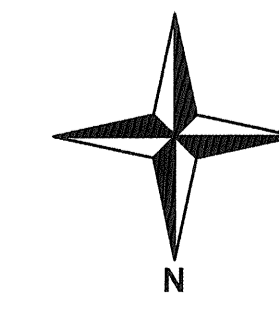
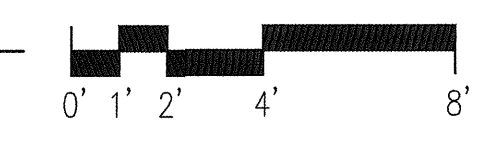
CCCSD
 APR 12 '19
 RVW/D

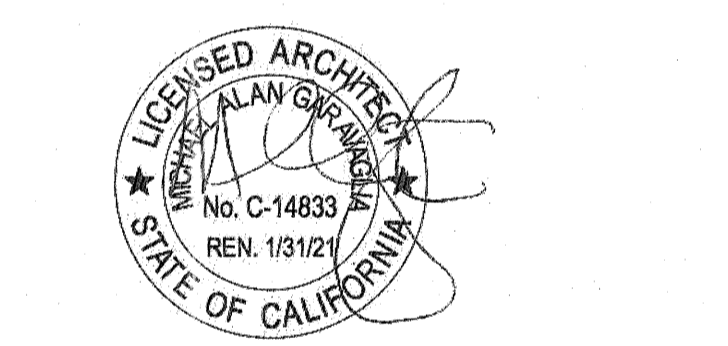
SHEET NO.
A-2.02

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1 ATTIC & ROOF PLAN
 SCALE: 1/4" = 1'-0"





GROUND FLOOR PLAN

PROPOSED 19-009893-
 19-203473

CONTRA COSTA COUNTY
 BUILDING INSPECTION DIVISION
 PERMIT NUMBER

THESE PLANS MUST BE KEPT ON THE PREMISES AND ACCESSIBLE TO INSPECTORS AT ALL TIMES

JAN 27 2020
 REVIEWED

PROJ. NO. 2016-051

SCALE 1/4" = 1'-0"

DATE 28 FEB 2017
 PHASE PERMIT
 DRAWN HA
 CHECKED AW

NO.	DATE	REVISION
30	APR 2018	PERMIT SET
44	DEC 2019	RESPONSE TO COMMENTS

Revised to show outlet locations

SHEET NO.
A-2.11

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KEY NOTES (CONTD.)

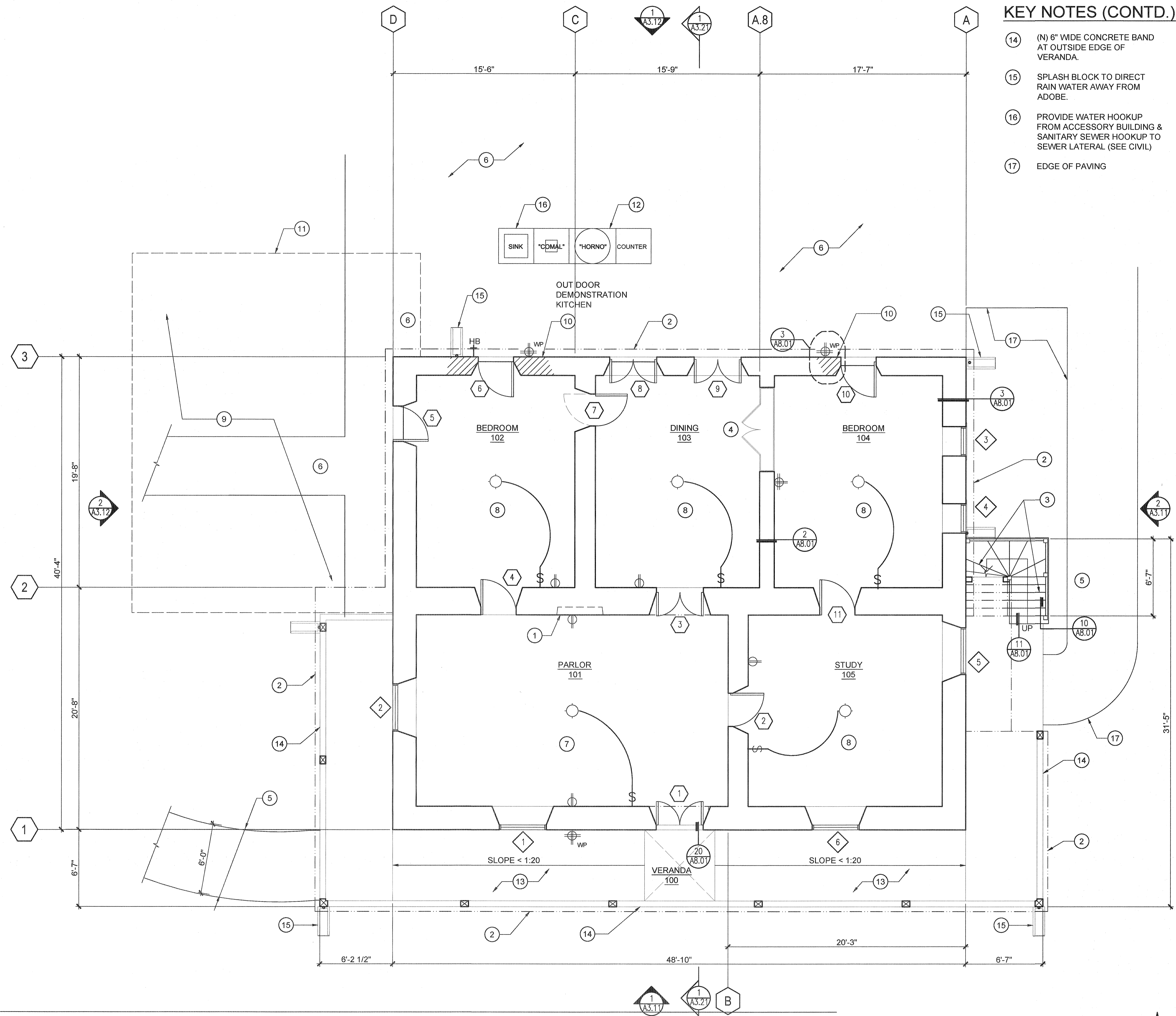
- 14 (N) 6" WIDE CONCRETE BAND AT OUTSIDE EDGE OF VERANDA.
- 15 SPLASH BLOCK TO DIRECT RAIN WATER AWAY FROM ADOBE.
- 16 PROVIDE WATER HOOKUP FROM ACCESSORY BUILDING & SANITARY SEWER HOOKUP TO SEWER LATERAL (SEE CIVIL)
- 17 EDGE OF PAVING

SHEET NOTES

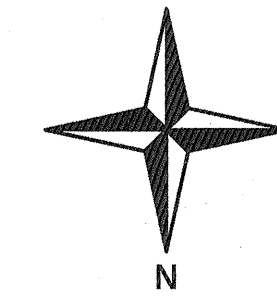
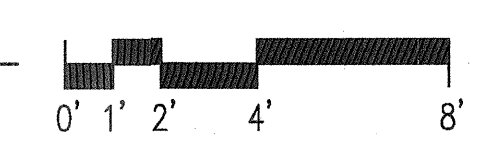
1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) PROPOSED ADJACENT AREAS.
2. REPAVE (E) VERANDA FLOOR WITH PERMEABLE PAVERS, TO COMPLY W/ ACCESSIBILITY REQUIREMENTS.
3. REPAIR (E) INTERIOR WALL FINISHES, TO MATCH EXISTING.
4. REPAIR (E) CEILING FINISHES, TO MATCH EXISTING.
6. REPAIR ADOBE BRICK WALL SECTIONS AS NEEDED WHERE EXPOSED AND DAMAGED.
7. REPAIR DAMAGED EXTERIOR CEMENT PLASTER FINISH TO MATCH ADJACENT EXISTING FINISH.
8. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF NEW (N) FOOTINGS, SHEAR WALLS & OTHER BUILDING ELEMENTS.
9. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, U.O.N.
10. USE (E) SWITCH J-BOX LOCATIONS TO MOST EXTENT POSSIBLE TO AVOID DEMO OF ADOBE FOR (N) CONDUIT
11. ALL ADHESIVES USED TO BE COMPLIANT WITH VOC LIMITS AS IDENTIFIED IN TABLE 5.504.4.1 OF 2016 CGBSC.
12. ALL SEALANTS USED TO BE COMPLIANT WITH VOC LIMITS AS IDENTIFIED IN TABLE 5.504.4.2 OF 2016 CGBSC
13. ALL PAINTS / COATINGS USED TO BE COMPLIANT WITH VOC LIMITS AS IDENTIFIED IN TABLE 5.504.4.3 OF 2016 CGBSC.
14. ALL COMPOSITE WOOD PRODUCTS USED TO BE COMPLIANT WITH FORMALDEHYDE LIMITS AS IDENTIFIED IN TABLE 5.504.4.5 OF 2016 CGBSC.

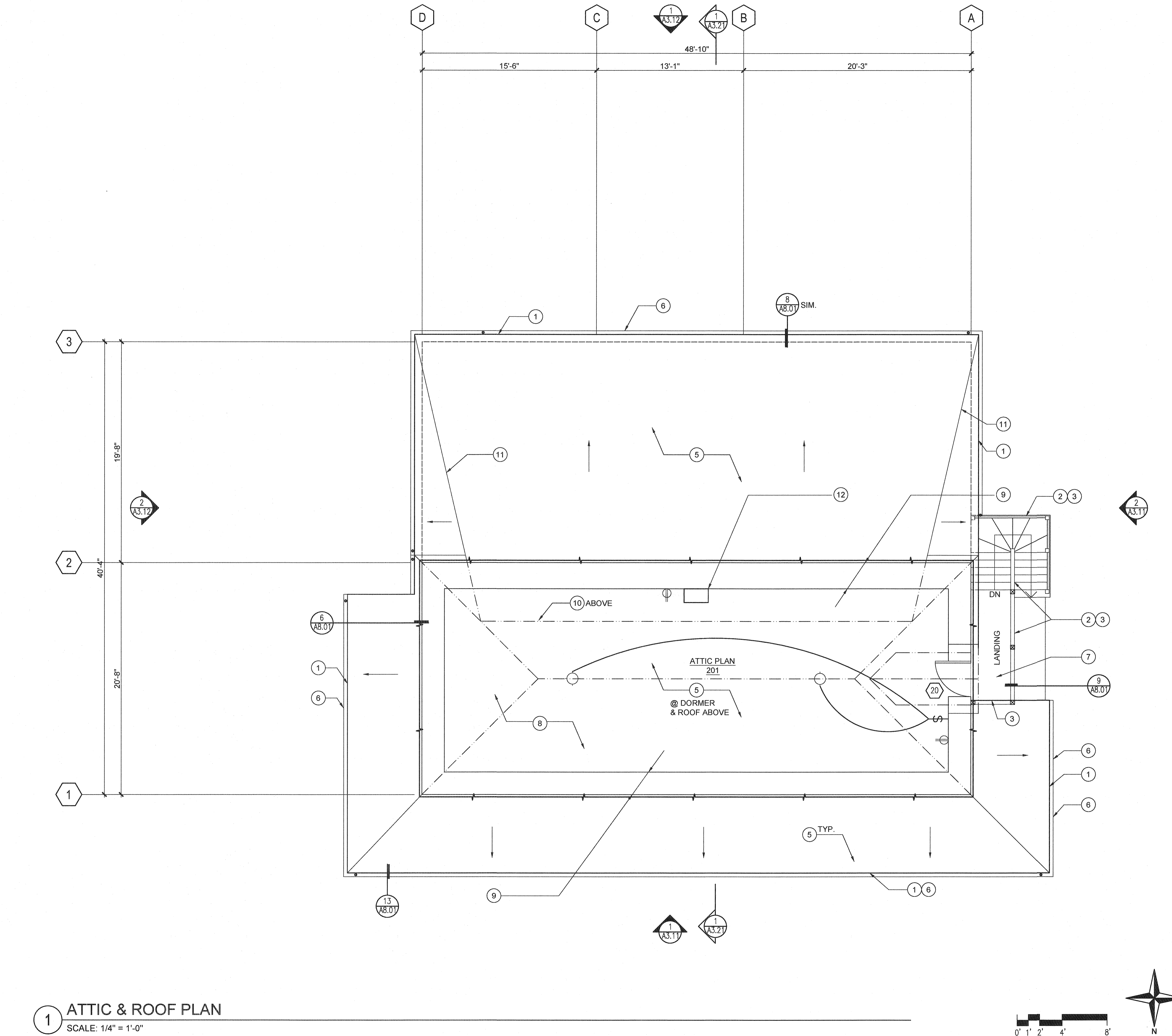
KEY NOTES

- 1 RECONSTRUCT ADOBE WALL WHERE FIREPLACE REMOVED.
- 2 EDGE OF ROOF OVERHANG, ABOVE.
- 3 REBUILD (E) EXTERIOR ATTIC STAIRS & LANDING TO MATCH (E).
- 4 (E) WD. CABINET, RECESSED INTO WALL. PROTECT IN PLACE.
- 5 PATH W/ PERMEABLE PAVERS, SEE SITE PLAN
- 6 DECOMPOSED GRANITE PAVING, SEE SITE PLAN.
- 7 (N) REDWOOD FLOORING & FLOOR STRUCTURE OF CRAWL SPACE.
- 8 (N) FINISH FLOOR TO REPRESENT COMPACTED DIRT.
- 9 BACKFILL (E) BASEMENT.
- 10 RECONSTRUCT ORIGINAL OPENING FOR EXTERIOR DOOR.
- 11 PERIMETER OF REMOVED ADDITION W/BASEMENT, TO BE BACKFILLED.
- 12 DEMONSTRATION COOKING UNIT W/ A HORNO, A COMAL, A SINK, & COUNTER. PROVIDE WATER HOOKUP FROM SITE WATER METER
- 13 (N) PAVERS @ VERANDA.



1 FLOOR PLAN
 SCALE: 1/4" = 1'-0"





1 ATTIC & ROOF PLAN
SCALE: 1/4" = 1'-0"

SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) PROPOSED ADJACENT AREAS.
2. REPAIR (E) INTERIOR WALL FINISHES, TO MATCH EXISTING.
3. REPAIR (E) CEILING FINISHES, TO MATCH EXISTING.
4. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF NEW (N) FOOTINGS, SHEAR WALLS & OTHER BUILDING ELEMENTS.
5. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, U.O.N.

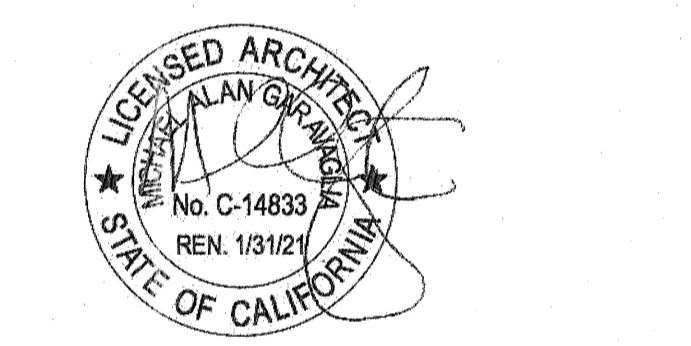


MORAGA ADOBE
AT J&J RANCH
REHABILITATION

24 ADOBE LANE
ORINDA, CA 94563

KEY NOTES

1. EDGE OF ROOF OVERHANG.
2. REBUILD (E) EXTERIOR STAIRS TO ATTIC & TOP LANDING.
3. (N) OPEN GUARD W/ HAND RAIL.
4. NOT USED.
5. (N) WD. SHAKE ROOFING O/ VENTILATION MAT ON STRUCTURAL SHEATHING.
6. (N) GUTTERS & DOWNSPOUTS.
7. (N) IPE WOOD DECKING @ ATTIC LANDING.
8. (N) REPLACEMENT WOOD FLOOR BOARDS TO BE SAME SPECIES, MATCH & ALIGN W/ (E).
9. TOP OF (E) ADOBE WALL. PROTECT IN PLACE.
10. BREAK IN ROOF PITCH.
11. FIELD VERIFY LOCATION OF ROOF HIP.
12. (N) F.A.U. - PROVIDE GAS AND ELECTRICAL HOOKUP TO BREAKER PANEL VIA JOINT TRENCH; SEE UTILITY DRAWING.



ATTIC & ROOF PLANS
PROPOSED

19-009893-
19-003473
CONTRA COSTA COUNTY
BUILDING INSPECTION DIVISION
PERMIT NUMBER
PROJ. NO. 2016-051
SCALE AS NOTED
DATE 28 FEB 2019
PHASE PERMIT
DRAWN [Signature]
CHECKED [Signature]

NO.	DATE	REVISION
30	APR 2018	PERMIT SET
04	DEC 2019	RESPONSES TO COMMENTS

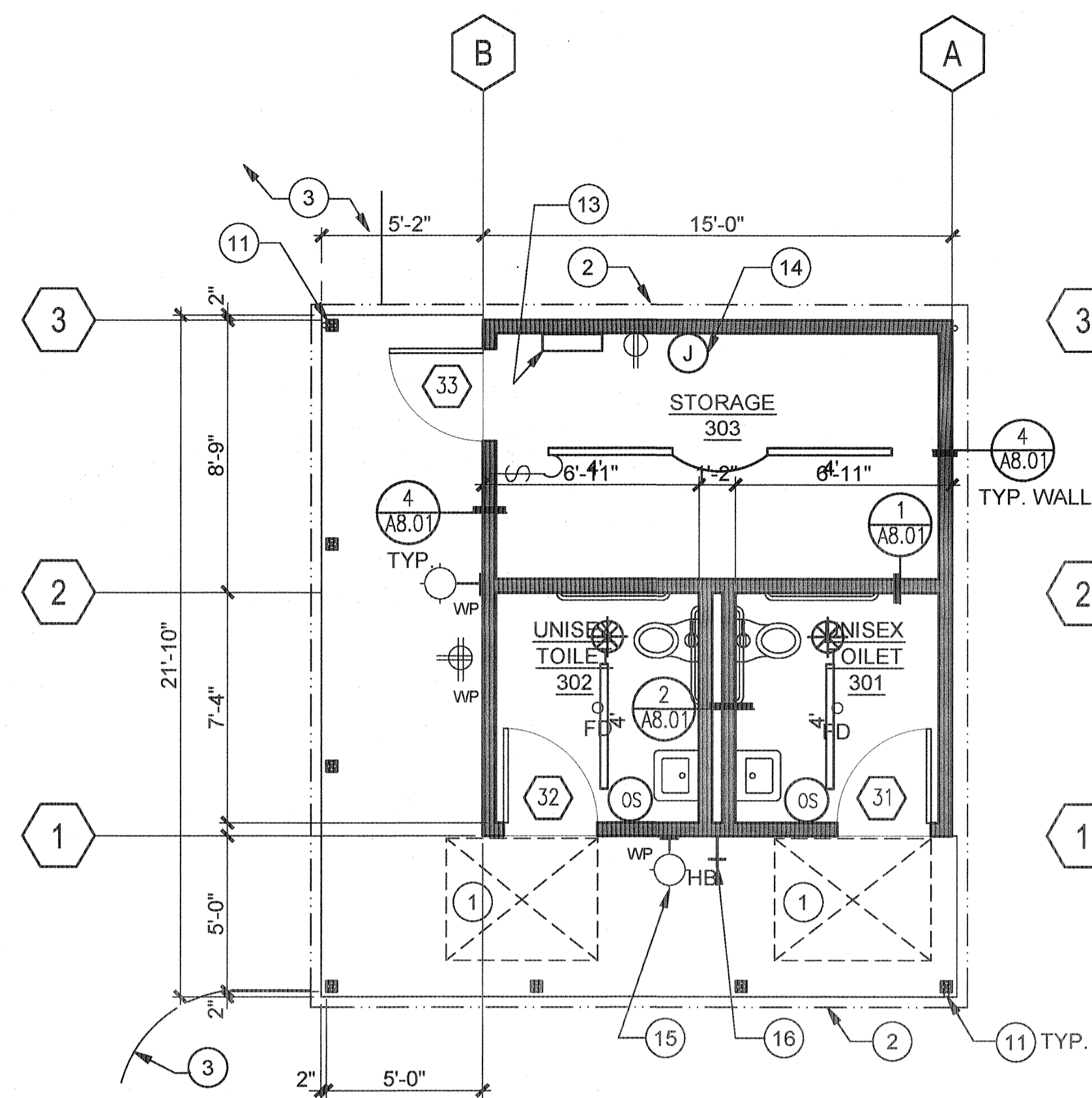
Raised to show Furnace location in ATTIC

SHEET NO.
A-2.12
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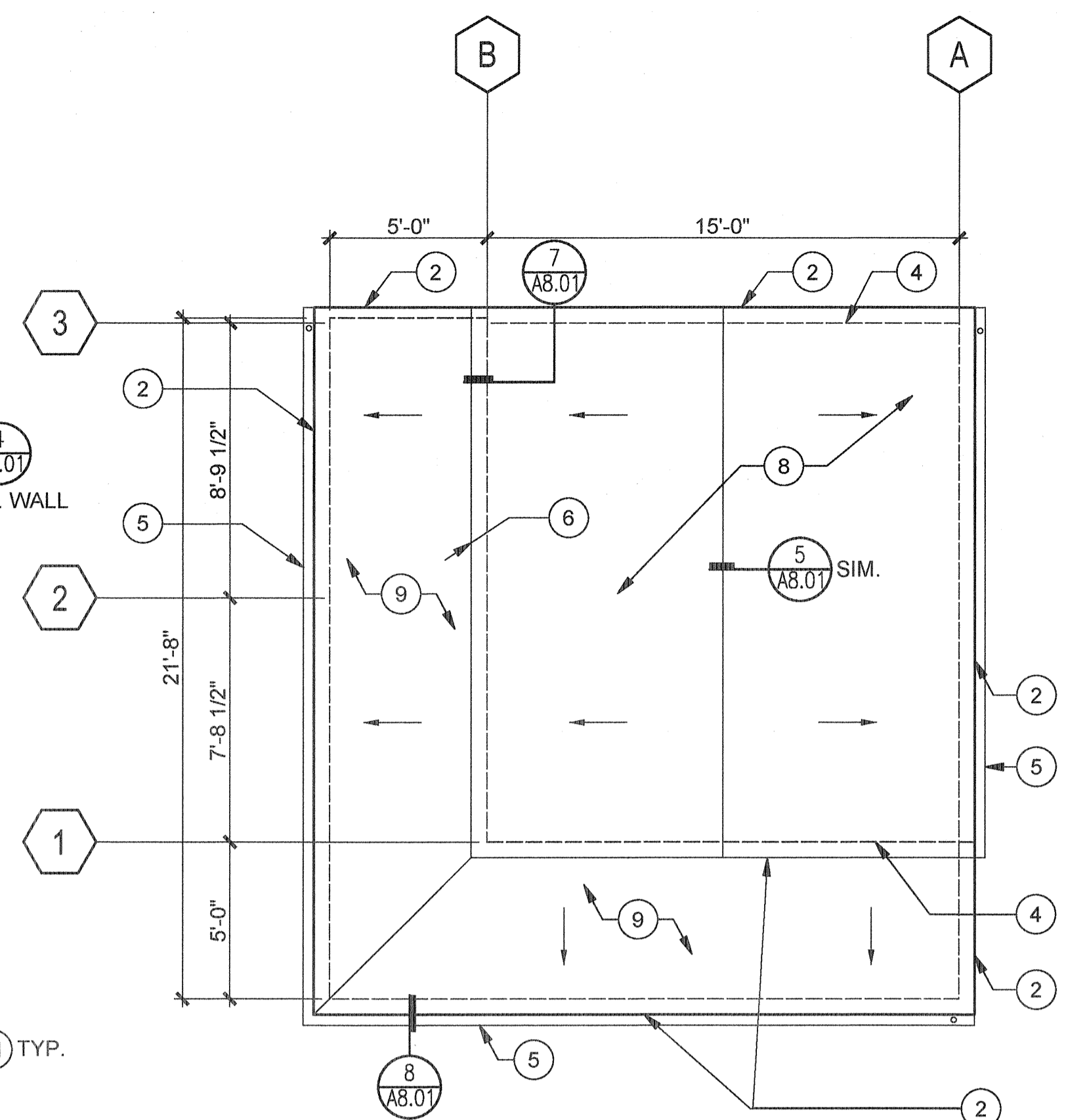
SHEET NOTES

- COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF (N) STRUCTURAL & OTHER BUILDING ELEMENTS.
- FURNISH REQUIRED ATTIC VENTILATION, PER CBC SECTIONS 706A
- COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF (N) STRUCTURAL & OTHER BUILDING ELEMENTS.
- FURNISH REQUIRED ATTIC VENTILATION, PER CBC SECTIONS 706A AND 1203. VENT LOCATIONS: BETWEEN RAFTERS & AT RIDGE VENT. PER CBC 706A.3. VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES. VENT OPENINGS SHALL BE 1/16" MIN. AND 1/8" MAX.
- ACCESSORY BUILDING MUST COMPLY WITH THE REQUIREMENTS OF CBC CHAPTER 7A, MATERIALS & CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE.
- EXTERIOR LIGHTS ARE ON TIMERS W/ PHOTOCELL MOUNTED @ 8'-0" AFF.
- PROVIDE WATER & SANITARY SEWER TO TOILETS AND SINKS. VENT FIXTURES TO ROOF. COMBINE VENTS WHEN CODE ALLOWS.

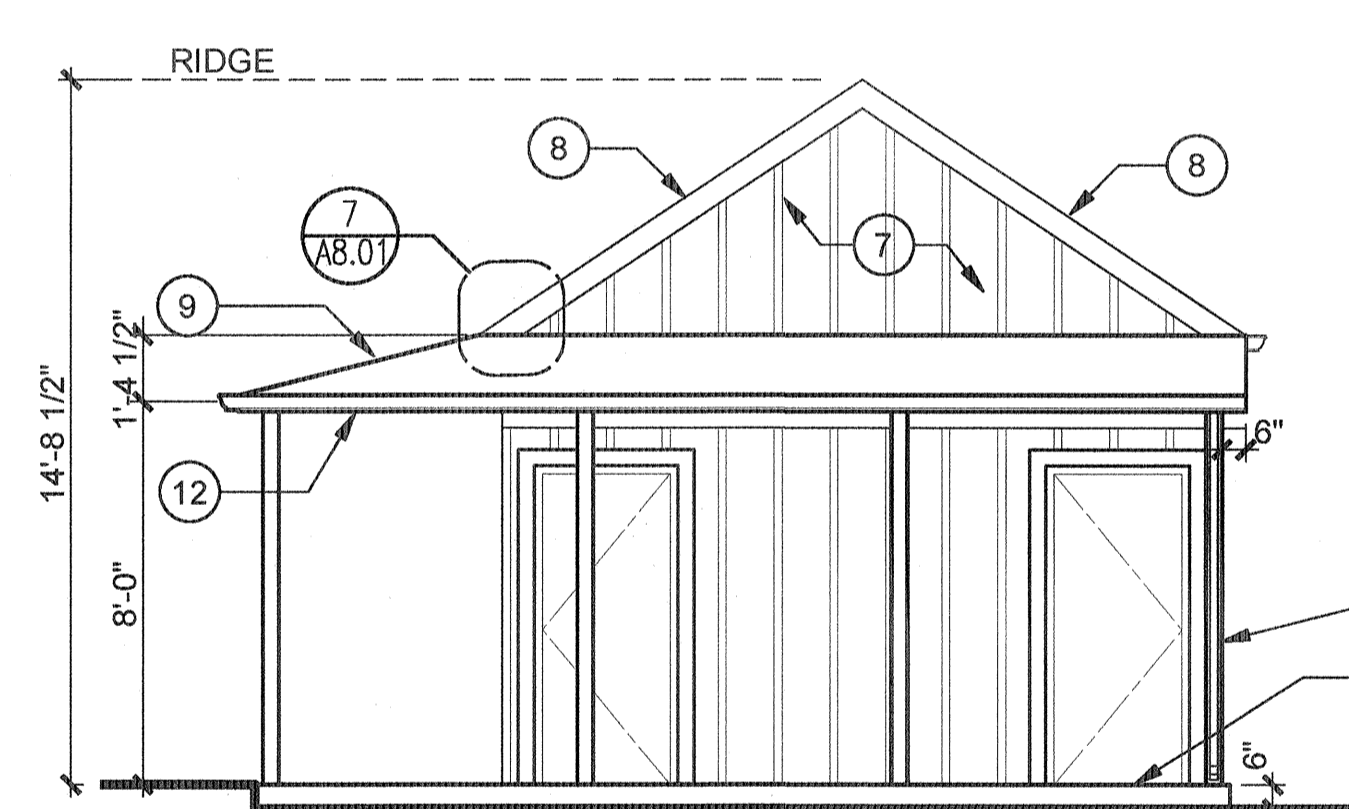
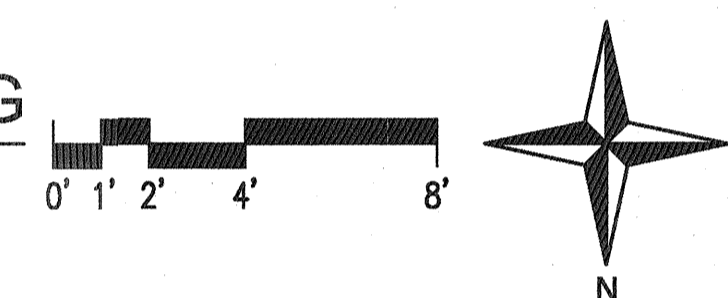
MORAGA ADOBE
 AT J&J RANCH
 REHABILITATION
 24 ADOBE LANE
 ORINDA, CA 94563



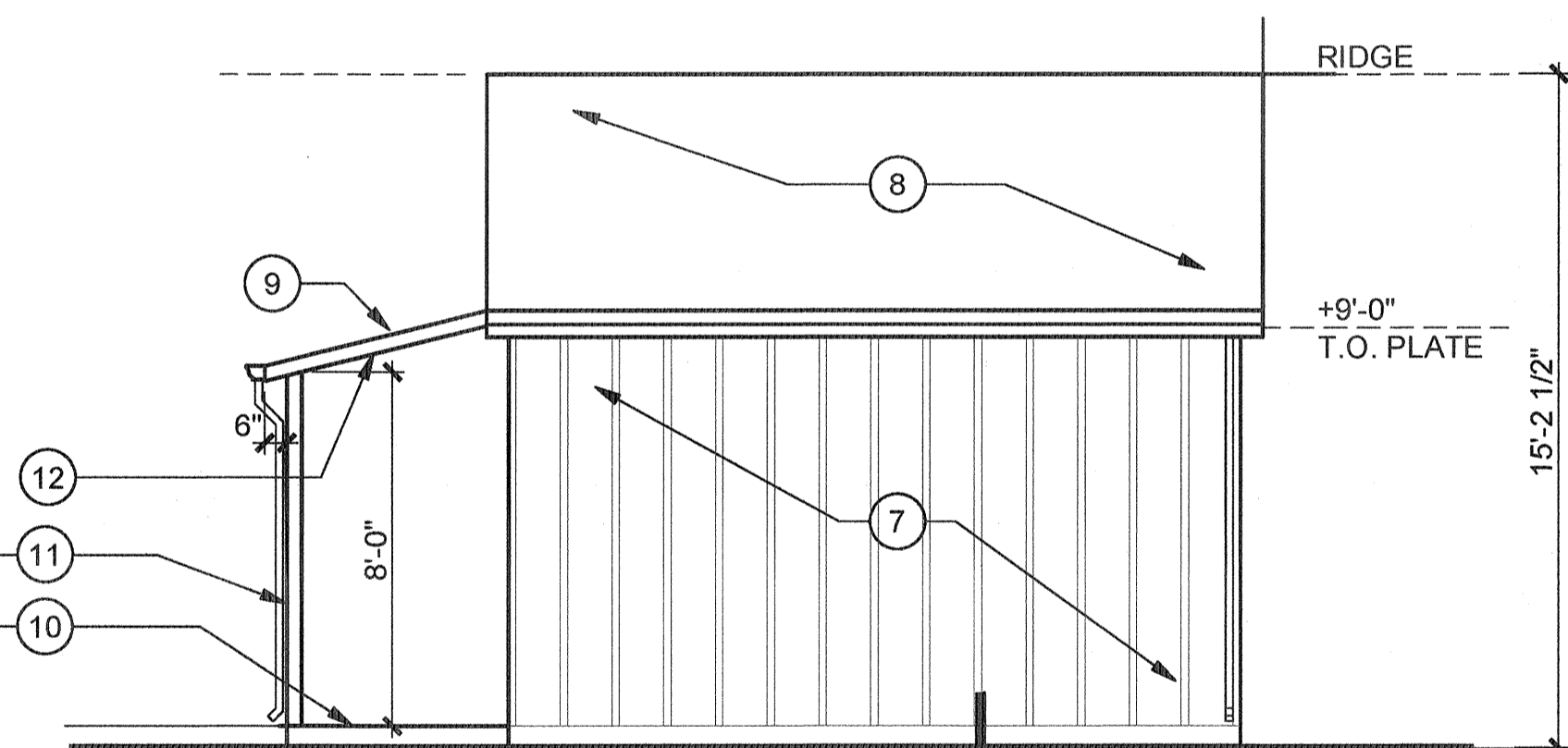
6 PLAN - ACCESSORY BUILDING
 SCALE: 1/4" = 1'-0"



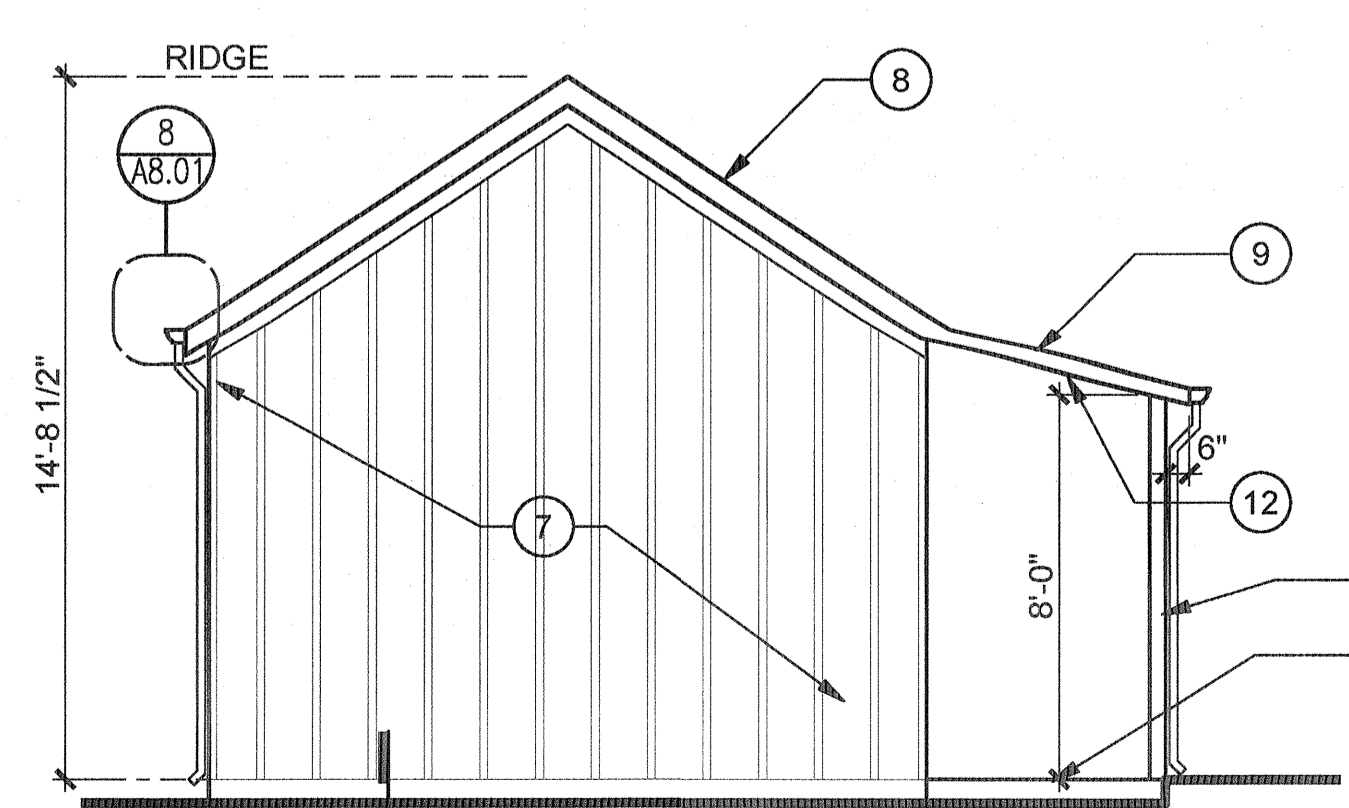
3 ROOF PLAN - ACCESSORY BUILDING
 SCALE: 1/4" = 1'-0"



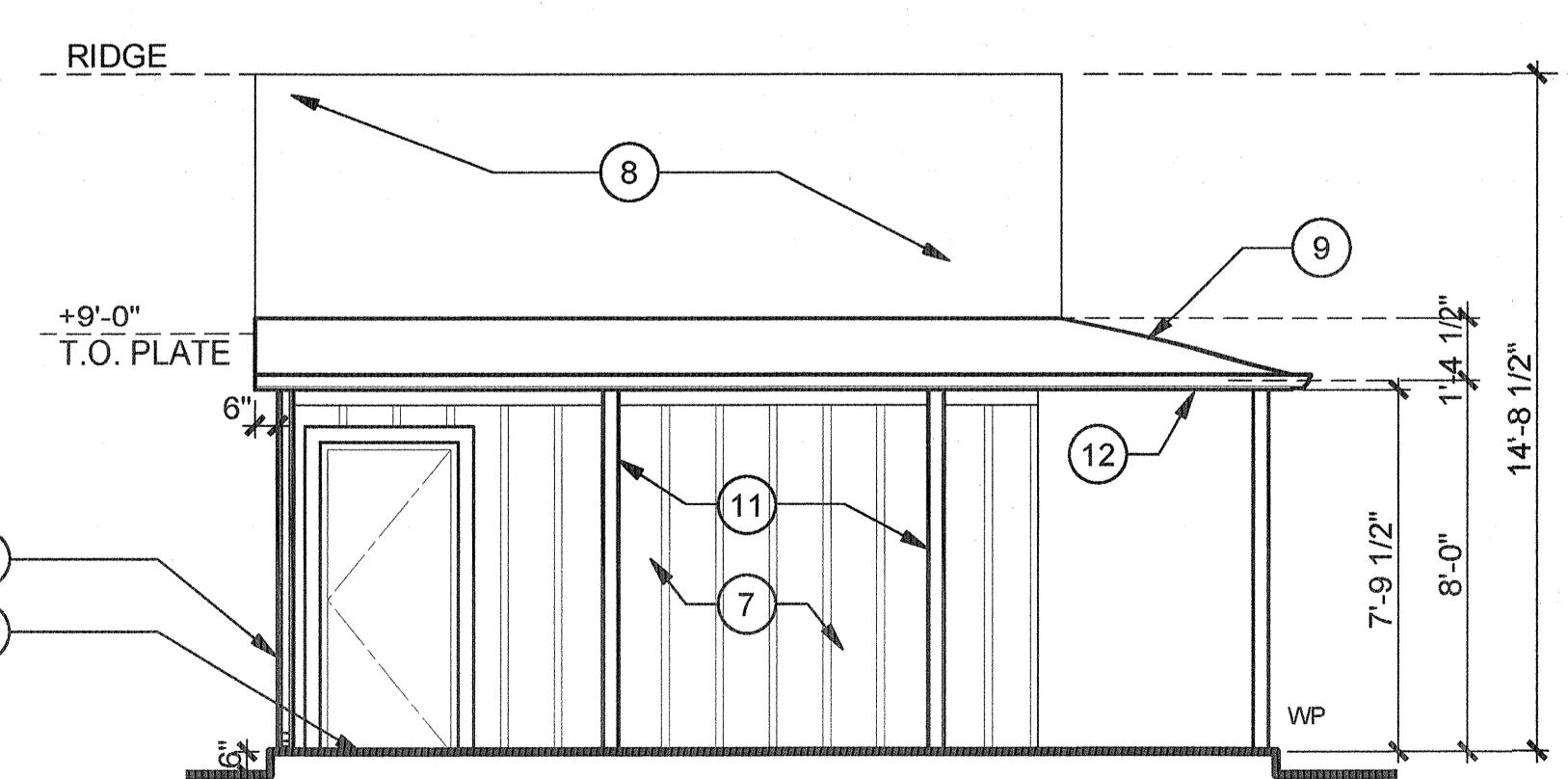
5 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



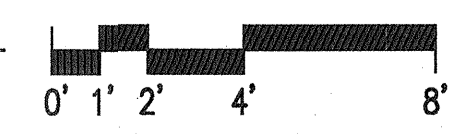
2 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

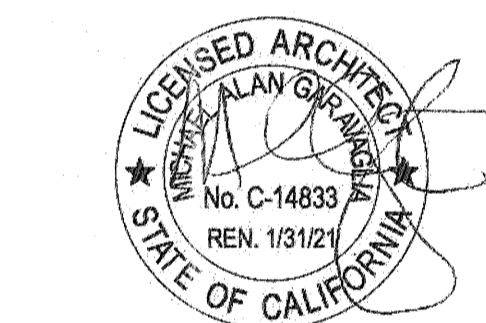


1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



KEY NOTES

- REQUIRED ACCESSIBLE MANEUVERING CLEARANCE.
- EDGE OF ROOF OVERHANG, ABOVE.
- PATH W/ PERMEABLE PAVERS.
- GABLE END OF ROOF.
- SHEET METAL GUTTERS & DOWNSPOUTS.
- BREAK IN ROOF PITCH.
- WOOD BOARD & BATTEN SIDING O/ 5/8" TYPE "X" GYP. BD.
- CLASS A FIRE RATING COMP. SHINGLE ROOFING ON STRUCTURAL SHEATHING @ 8:12 ROOF SLOPE.
- CLASS A FIRE RATING COMP. SHINGLE ROOFING ON STRUCTURAL SHEATHING @ 3:12 ROOF SLOPE.
- TOP OF CONCRETE SLAB ON GRADE.
- WOOD POSTS @ COVERED PORCH, S.S.D. FOR SIZING AND CONNECTIONS.
- FIBER CEMENT PANEL SOFFIT
- MAIN ELECTRICAL PANEL (FOR BOTH ADOBE AND ACCESSORY BLDGS.)
- J-BOX OR DEDICATED OUTLET FOR LOW VOLTAGE SITE LIGHTING; PROVIDE EMPTY CONDUIT TO EXTERIOR
- LIGHT FIXTURE CENTERED ON WALL
- RECESSED H.B.



PLANS & ELEVATIONS
 PROPOSED
 ACCESSORY BUILDING

19-009898-
 19-003173
 CONTRACTOR'S COPY
 BUILDING INSPECTION DIVISION
 PERMIT NUMBER
 THESE PLANS MUST BE KEPT ON THE PREMISES AND ACCESSIBLE TO INSPECTORS AT ALL TIMES.
 JAN 27 2020
 PROJ. NO. 2016-051
 SCALE: AS NOTED
 DATE: 28 FEB 2017
 PHASE: PERMIT
 DRAWN: HA
 CHECKED: AW

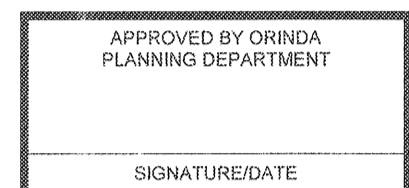
NO.	DATE	REVISION
30	APR 2019	PERMIT SET
4	DEC 2019	RESPONSES TO COMMENTS

Revised to show

MORAGA ADOBE

**AT J&J RANCH
 REHABILITATION**

24 ADOBE LANE
 ORINDA, CA 94563



SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING DEMOLITION OF ADJACENT AREAS.
2. REMOVE & OFF-HAUL (E) BUILDING ELEMENTS SHOWN DASHED AS DEMOLITION, OR AS NOTED, INCLUDING FLOOR/ROOF FRAMING & TRIM.
3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, U.O.N.
4. REMOVE ALL (E) EXTERIOR STUCCO, U.O.N. DO NOT DAMAGE (E) ADOBE TO REMAIN.
5. PROTECT IN PLACE ALL (E) PORCH CEILING & ROOF SOFFIT FINISHES, U.O.N.
6. REMOVE (E) ROOFING DOWN TO (E) SKIP SHEATHING FOR PROPOSED STRUCTURAL WORK.
7. COORDINATE DEMOLITION DRAWINGS W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW (N) FOOTINGS, SHEAR WALLS & OTHER STRUCTURAL ELEMENTS.
8. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN AND BE PROTECTED IN PLACE, U.O.N.
9. REFER TO PLANS FOR ADDITIONAL DEMO NOTES.

KEY NOTES

1. REMOVE (E) WINDOW BEYOND & SURROUNDING WALL DURING DEMOLITION OF ADDITION. DO NOT DAMAGE (E) ADOBE WALL TO REMAIN.
2. PLANE OF (E) ORIGINAL SHED ROOF BEYOND, TO REMAIN IN PLACE AFTER REMOVAL OF ADDITION ROOF; COORDINATE EXTENT WITH PROPOSED ROOF PLAN.
3. (E) OVERHEAD ELECTRICAL SERVICE ENTRANCE CABINET TO BE REMOVED ALONG WITH ALL WIRING.
4. REMOVE (E) CONC. LIGHT WELLS & FOUNDATION OF BASEMENT.
5. REMOVE (E) CHIMNEY DOWN TO FOUNDATION.
6. REMOVE, TAG & SALVAGE STAIR PARTS THAT ARE IN SOUND CONDITION FOR POTENTIAL REINSTALLATION.
7. REMOVE (E) WINDOW AND RETAIN OPENING.
8. DO NOT DAMAGE (E) ADOBE WALL TO REMAIN, WHEN REMOVING PERPENDICULAR WALLS AT ADDITIONS.

ELEVATIONS

**EXTERIOR
 EXISTING / DEMO**

PROJ. NO. 2016 - 051
 SCALE AS NOTED
 DATE 17 FEB 2017
 PHASE PERMIT
 DRAWN HA
 CHECKED AW 19-009893-

NO. DATE REVISION
 30 APR 2018 PERMIT SET 19-009473
 BUILDING DEPARTMENT DIVISION
 PERMIT DIVISION

THESE PLANS MUST BE KEPT ON THE PREMISES AND ACCESSIBLE TO INSPECTORS AT ALL TIMES.

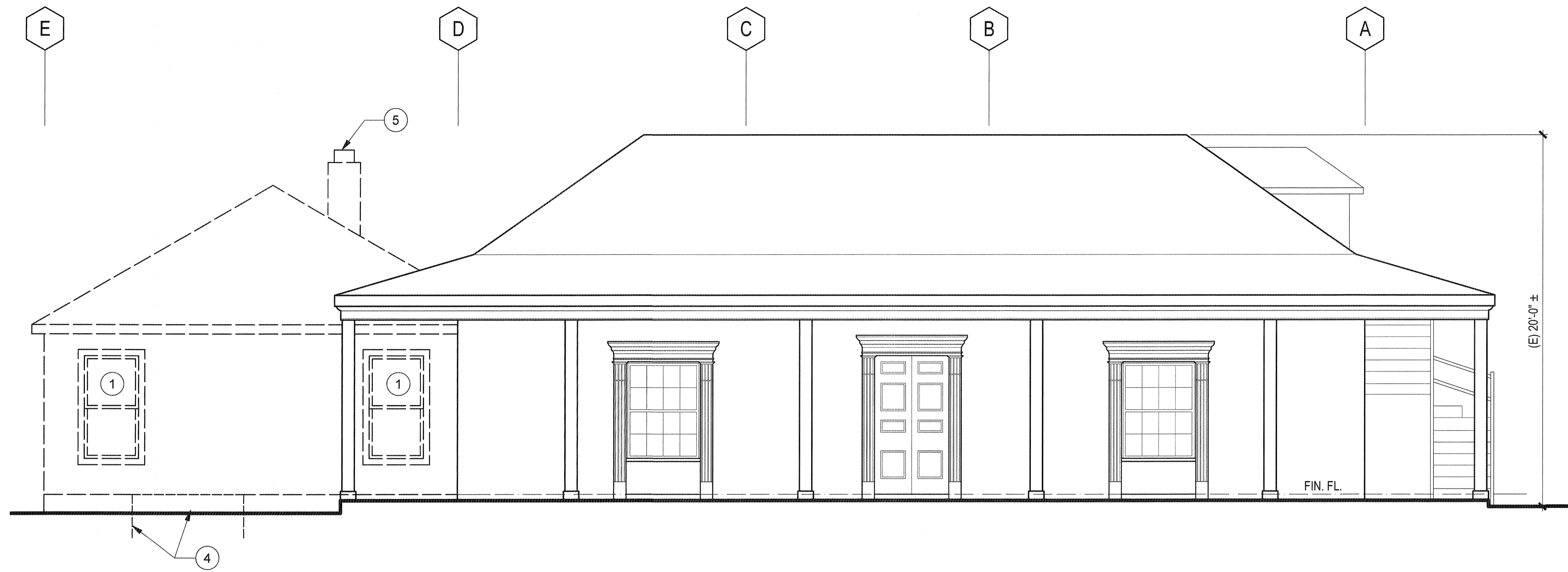
SEP 23 2019

REVIEWED

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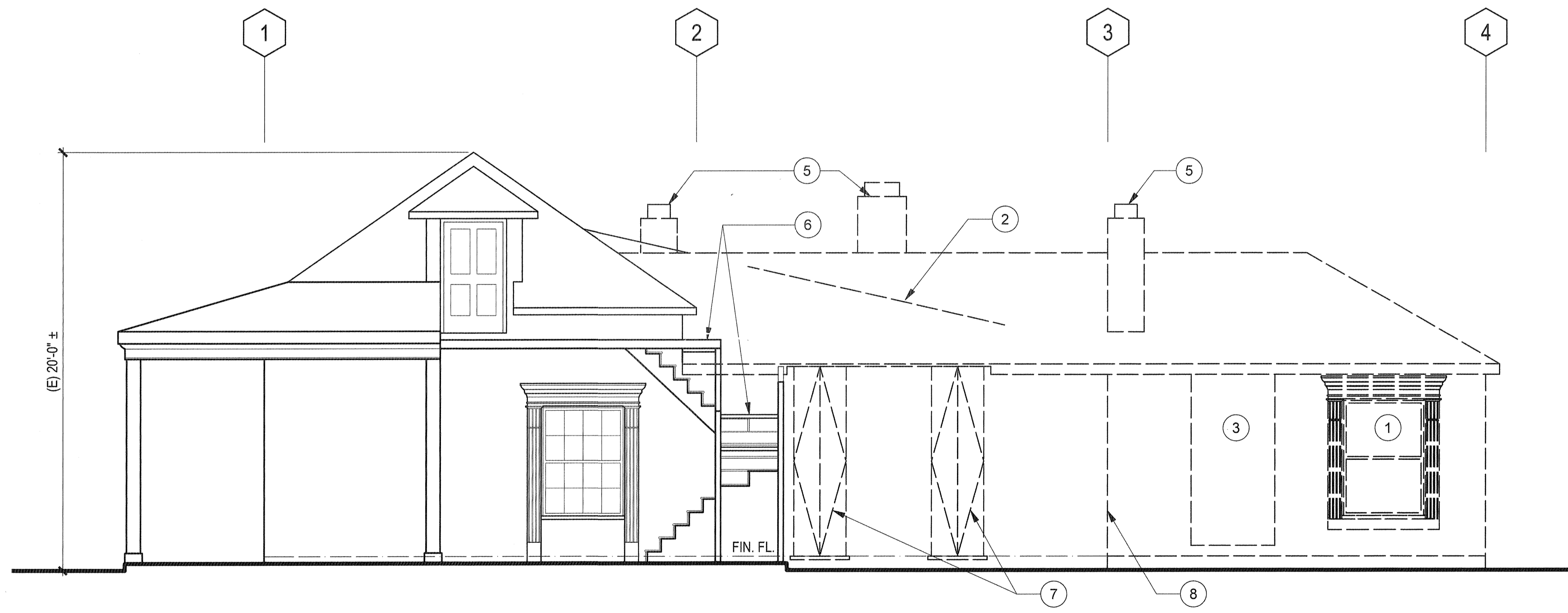
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 11 2 19
 RWWD
 SHEET NO. A-3.01

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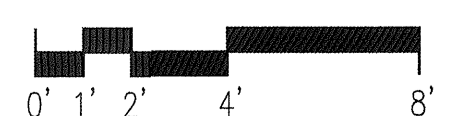
1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



2 WEST ELEVATION

SCALE: 1/4" = 1'-0"



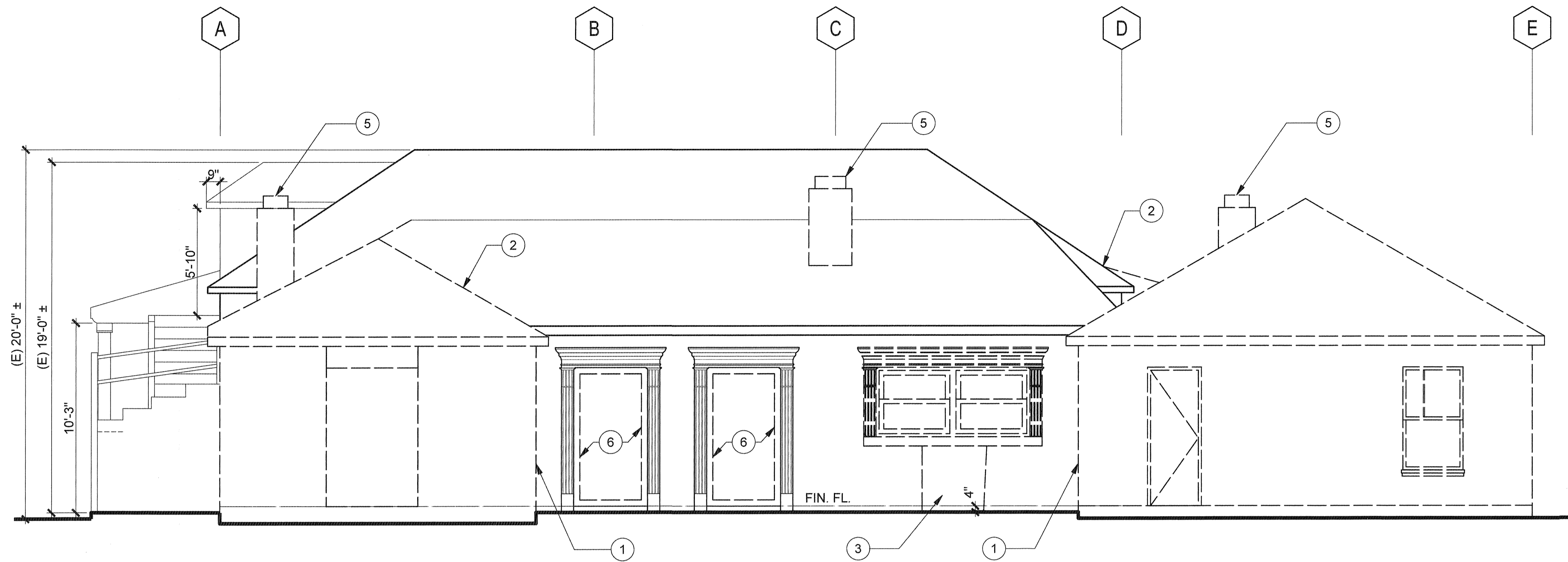
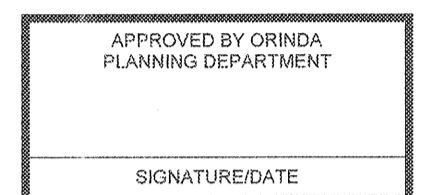
SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING DEMOLITION OF ADJACENT AREAS.
2. REMOVE & OFF-HAUL (E) BUILDING ELEMENTS SHOWN DASHED AS DEMOLITION, OR AS NOTED, INCLUDING FLOOR/ROOF FRAMING & TRIM.
3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, U.O.N.
4. REMOVE ALL (E) EXTERIOR STUCCO, U.O.N. DO NOT DAMAGE (E) ADOBE BLOCKS TO REMAIN.
5. PROTECT IN PLACE ALL (E) PORCH CEILING & ROOF SOFFIT FINISHES, U.O.N.
6. REMOVE (E) ROOFING DOWN TO (E) SKIP SHEATHING FOR PROPOSED STRUCTURAL WORK.
7. COORDINATE DEMOLITION DRAWINGS W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW (N) FOOTINGS, SHEAR WALLS & OTHER STRUCTURAL ELEMENTS.
8. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN AND BE PROTECTED IN PLACE, U.O.N.
9. REFER TO PLANS FOR ADDITIONAL DEMO NOTES.

MORAGA ADOBE

**AT J&J RANCH
 REHABILITATION**

**24 ADOBE LANE
 ORINDA, CA 94563**



1 SOUTH ELEVATION

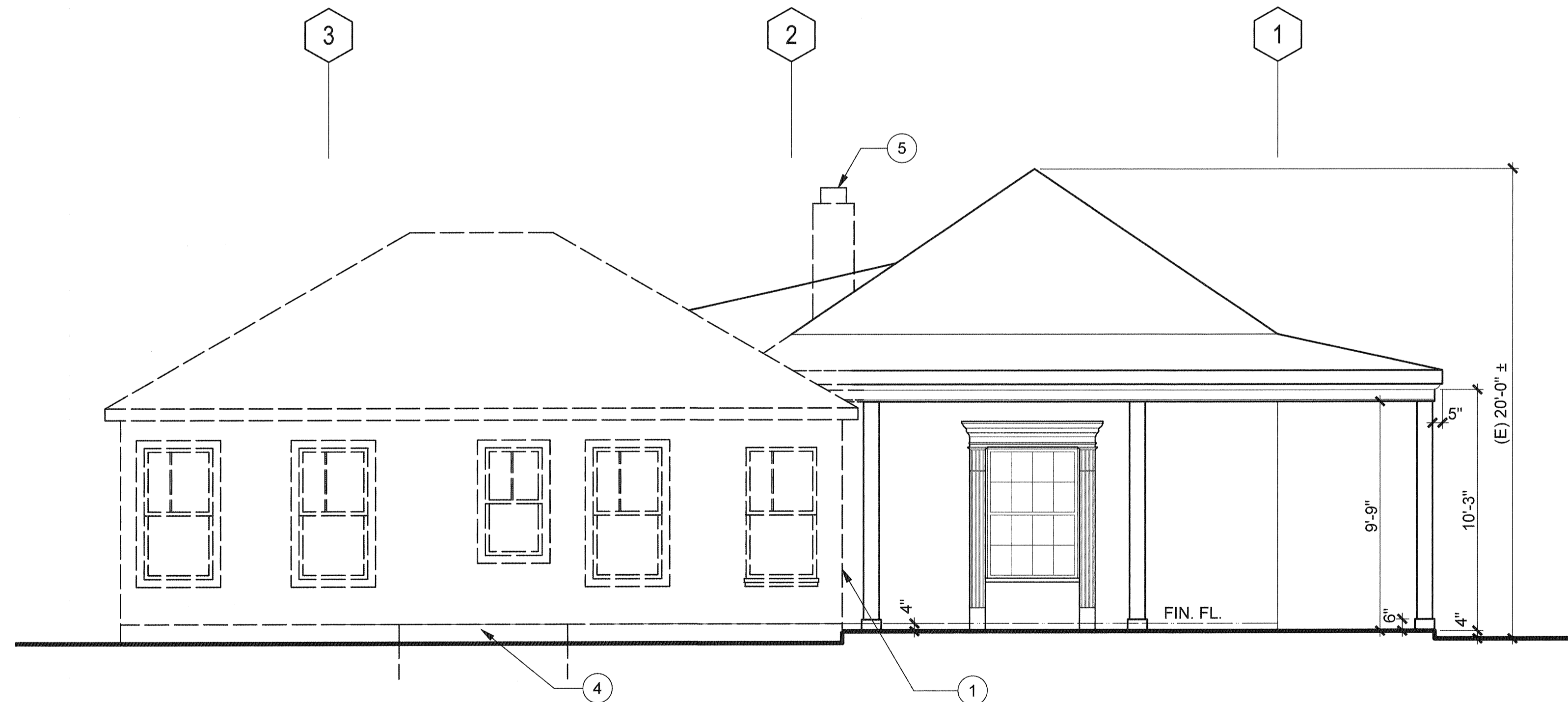
SCALE: 1/4" = 1'-0"

KEY NOTES

- 1 DO NOT DAMAGE (E) ADOBE WALLS TO REMAIN, WHEN REMOVING PERPENDICULAR WALLS AT ADDITIONS.
- 2 (E) ORIGINAL ROOF BELOW, TO REMAIN IN PLACE AFTER REMOVAL OF ADDITION ROOF ABOVE. PARTIAL RE-FRAMING MAY BE REQUIRED.
- 3 CUT OPENING IN WALL FOR RECONSTRUCTION OF ORIGINAL DOORWAY.
- 4 REMOVE (E) CONC. LIGHT WELL.
- 5 REMOVE (E) CHIMNEY DOWN TO FOUNDATION.
- 6 PROTECT IN PLACE (E) INTERIOR TRIM TO REMAIN.



ELEVATIONS
EXTERIOR
EXISTING / DEMO



2 EAST ELEVATION

SCALE: 1/4" = 1'-0"

PROJ. NO. 2016 - 051
 SCALE AS NOTED
 DATE 17 FEB 2017
 PHASE PERMIT
 DRAWN HA
 CHECKED AW

19-008893-

NO. DATE REVISION
 30 APR 2018 19-008893-73

COMPASS COUNTY
 BUILDING DIVISION
 PENALTY NUMBER

THIS PLAN MUST BE KEPT ON THE PREMISES AND ACCESSIBLE TO INSPECTORS AT ALL TIMES.

SEP 23 2019

FOR COORDINATE WITH COUNTY BUILDING DEPT. A COPY OF THE DRAWING OF THIS PLAN MUST BE FILED WITH THE COUNTY CLERK'S OFFICE. THE CLERK'S OFFICE WILL MAIL WITHOUT NOTICE TO THE BUILDING OFFICIAL.

CCCS
 APR 12 '19
 RWWD
A-3.02

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SHEET NOTES

1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) PROPOSED ADJACENT AREAS.
2. RE-SET & LEVEL ALL (E) EXTERIOR STONE PORCH FLOOR, TO COMPLY WITH ACCESSIBILITY REQUIREMENTS.
3. RE-STUCCO EXTERIOR WALLS AFTER REPAIRING ADOBE.
4. PROTECT IN PLACE ALL (E) EXTERIOR ROOF SOFFITS, PORCH CEILINGS & OTHER TRIM, U.O.N.
5. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF (N) STRUCTURAL & OTHER BUILDING ELEMENTS.
6. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, U.O.N.

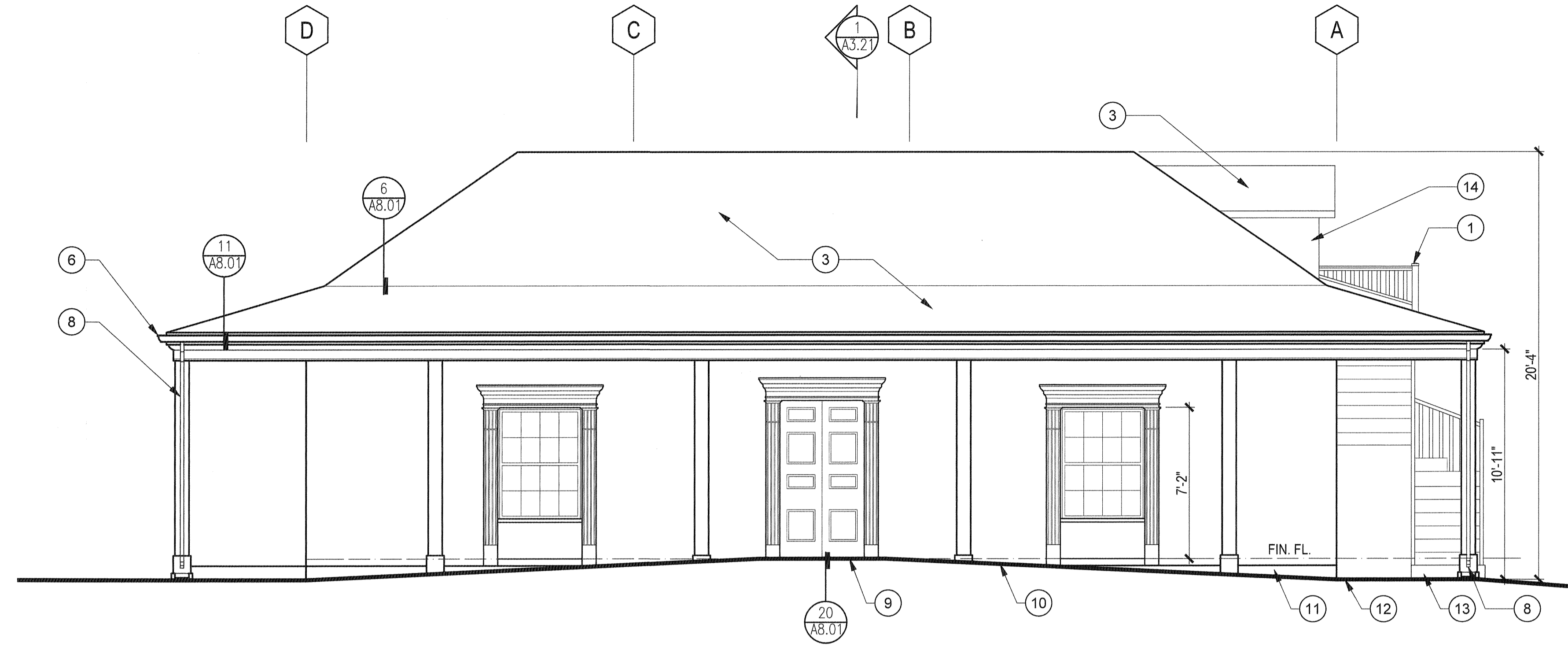
MORAGA ADOBE

**AT J&J RANCH
 REHABILITATION**

24 ADOBE LANE
 ORINDA, CA 94563

APPROVED BY ORINDA
 PLANNING DEPARTMENT

SIGNATURE/DATE



1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

KEY NOTES

- 1 (N) GUARD @ (E) ATTIC STAIRS & UPPER LANDING.
- 2 RECONSTRUCT (E) STAIR TO ATTIC ACCESS.
- 3 (N) FIRE RETARDANT TREATED WOOD SHAKE ROOFING O/VENTILATION MAT ON (N) STRUCTURAL SHEATHING.
- 4 PATCH (E) OPENING TO MATCH (E) ADJACENT CEMENT PLASTER WALL, ABOVE AND BELOW (N) WINDOW.
- 5 VERTICAL SIDING.
- 6 (N) MTL. GUTTERS & DOWNSPOUTS.
- 7 (N) TRIM TO MATCH (E).
- 8 (N) RAINWATER LEADERS DOWN TO SPLASHBLOCK AT GRADE.
- 9 LEVEL LANDING 1/4" BELOW F.F.
- 10 SLOPED WALK <1:20 W/ CONT. SLOPED CONC. EDGE ALIGNED WITH WD. POSTS.
- 11 EXPOSED (12" +/-) FOUNDATION.
- 12 (E) GRADE LEVEL (2% MAX. CROSS SLOPE FOR DRAINAGE).
- 13 (N) CONC. BOTTOM STEP AND FOUNDATION AT EXT. STAIRS.
- 14 REPAIR (E) BOARD AND BATTEN SIDING

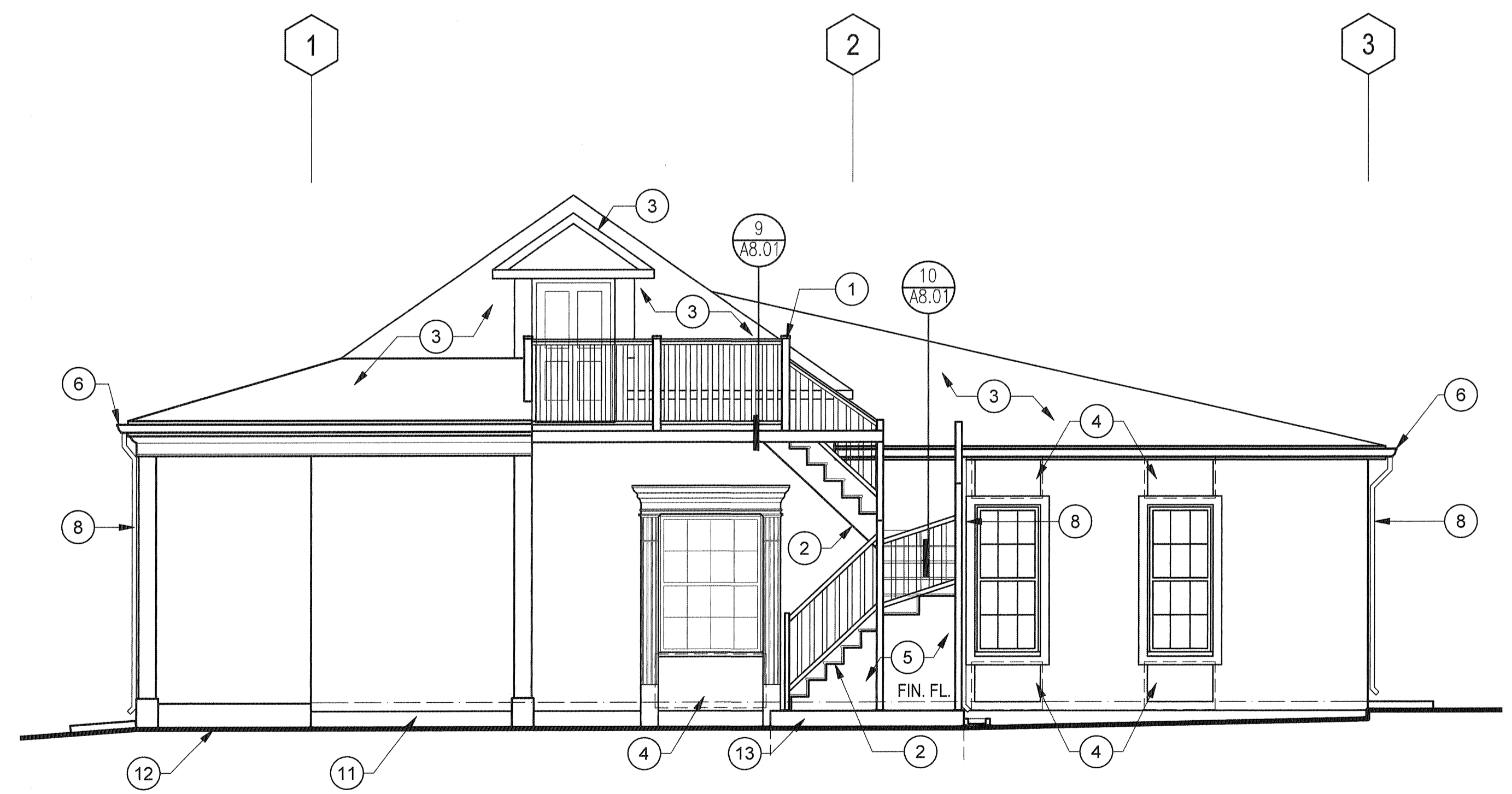
ELEVATIONS

**EXTERIOR
 PROPOSED**

PROJ. NO. 2016 - 051
 SCALE AS NOTED
 DATE 17 FEB 2017
 PHASE PERMIT
 DRAWN HA
 CHECKED AW

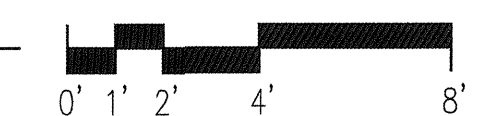
NO. DATE REVISION
 30 APR 2018 PERMIT SET
 19-008473
 CYNTHIA COSTA COWEN
 BUILDING INSPECTOR, DIVISION
 PERMIT NUMBER

THESE PLANS MUST BE KEPT ON THE PREMISES AND ACCESSIBLE TO INSPECTORS AT ALL TIMES.
 SEP 29 2019
 FILE # 19-008473
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2 WEST ELEVATION

SCALE: 1/4" = 1'-0"



SHEET NO.
A-3.11
 APR 12 '19
 RWWD

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SHEET NOTES

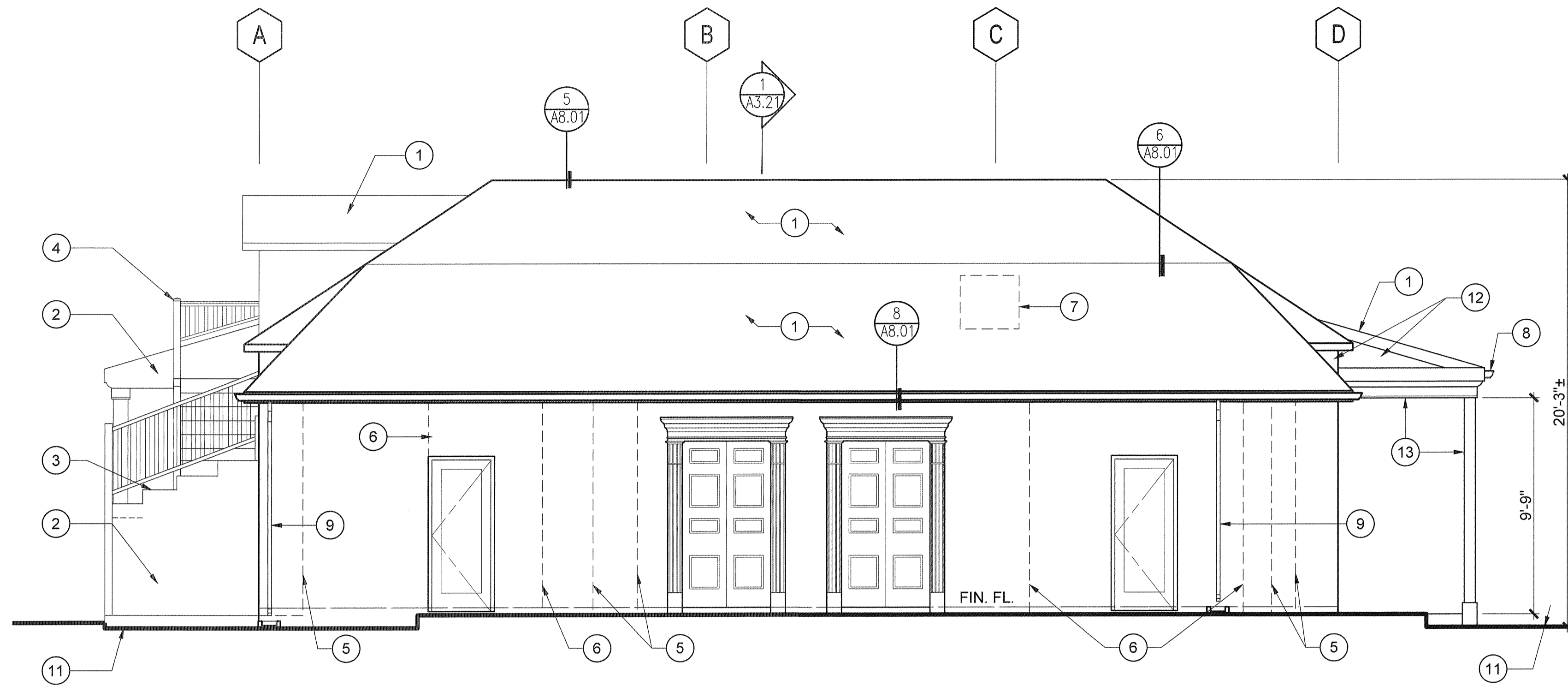
1. PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) PROPOSED ADJACENT AREAS.
2. RE-SET & LEVEL ALL (E) EXTERIOR STONE PORCH FLOOR, TO COMPLY WITH ACCESSIBILITY REQUIREMENTS.
3. RE-STUCCO EXTERIOR WALLS AFTER REPAIRING ADOBE.
4. PROTECT IN PLACE ALL (E) EXTERIOR ROOF SOFFITS, PORCH CEILINGS & OTHER TRIM, U.O.N.
5. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF (N) STRUCTURAL & OTHER BUILDING ELEMENTS.
6. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, U.O.N.

MORAGA ADOBE

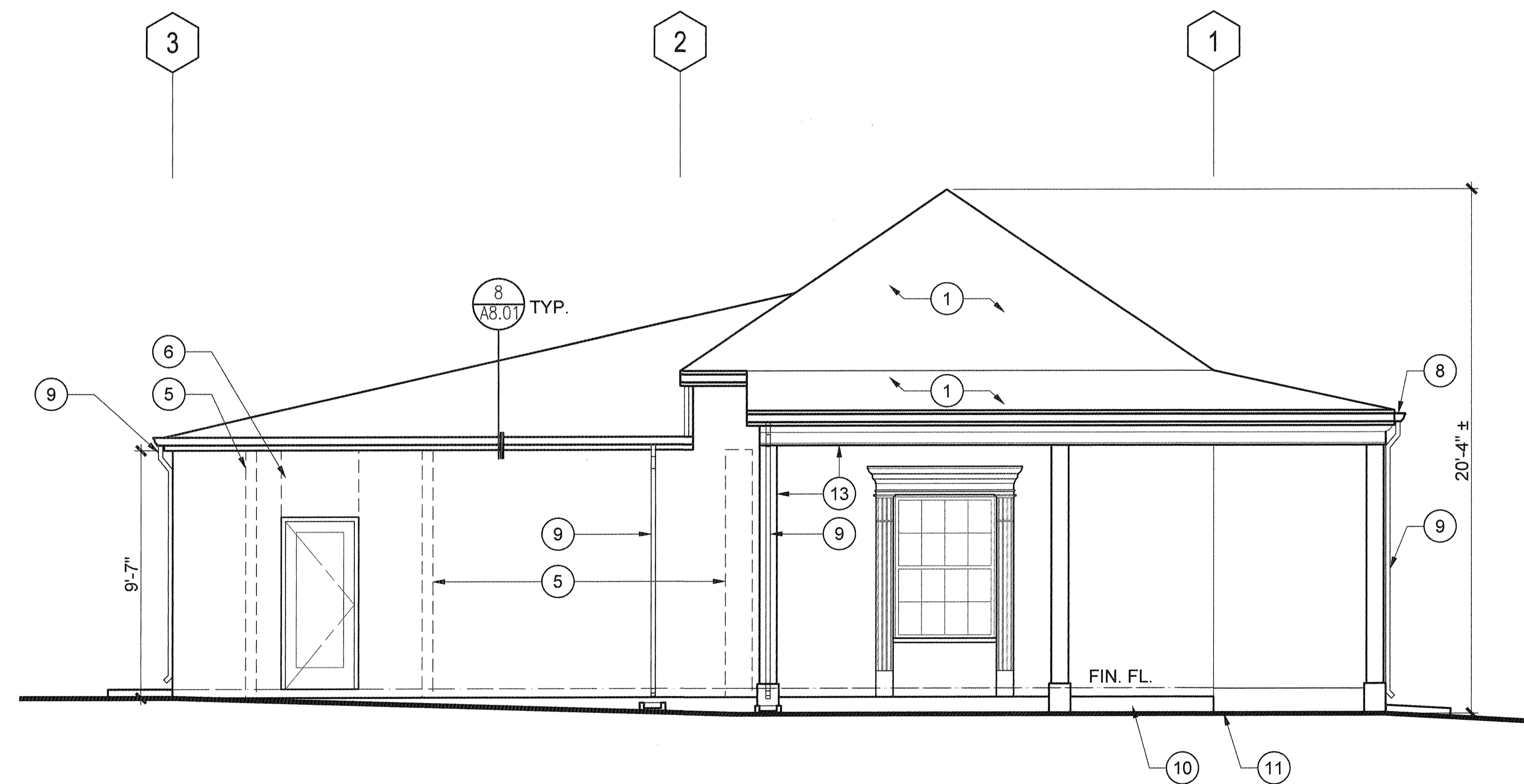
**AT J&J RANCH
 REHABILITATION**

24 ADOBE LANE
 ORINDA, CA 94563

APPROVED BY ORINDA
 PLANNING DEPARTMENT
 SIGNATURE/DATE



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

KEY NOTES

- 1 (N) FIRE RETARDANT TREATED SHAKE ROOFING O/VENTILATION MAT ON STRUCTURAL SHEATHING.
- 2 VERTICAL SIDING.
- 3 RECONSTRUCT (E) STAIR TO ATTIC ACCESS.
- 4 (N) GUARD @ UPPER LANDING.
- 5 PATCH (E) CEM. PLASTER.
- 6 REPAIR (E) ADOBE WALL.
- 7 PATCH ROOF FRAMING & SHEATHING AT REMOVED CHIMNEY.
- 8 (N) MTL. GUTTERS & DOWNSPOUTS.
- 9 (N) RAINWATER LEADERS DOWN TO SPLASH BLOCK AT GRADE.
- 10 EXPOSED (12" +/-) FOUNDATION.
- 11 (E) GRADE LEVEL (2% MAX. CROSS SLOPE FOR DRAINAGE).
- 12 (N) EXTERIOR CEMENT PLASTER FINISH
- 13 (N) POST AND BEAM TO MATCH (E)



ELEVATIONS

**EXTERIOR
 PROPOSED**

PROJ. NO. 2016 - 051
 SCALE AS NOTED
 DATE 17 FEB 2017
 PHASE PERMIT
 DRAWN HA
 CHECKED AW

NO.	DATE	REVISION
30	APR 2018	PERMIT 18-009893-473

18-009893-

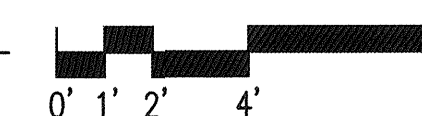
SEP 29 2019

THESE PLANS MUST BE KEPT ON THE PREMISES AND ACCESSIBLE TO INSPECTORS AT ALL TIMES.
 FILED BY G.J.
 FOR COMPLIANCE WITH COUNTY BUILDING CODE, ACCESS THE STRAIGHTENING OF THE CITY, STATE, AND FEDERAL REGULATIONS, AND TO REMAIN IN FULL FORCE AND EFFECT. THESE PLANS SHALL BE MADE AVAILABLE TO THE PUBLIC WITHOUT CHARGE.

CCCSB
 APR 12 2019
 RWWD

SHEET NO.
A-312

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SHEET NOTES

- COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF (N) STRUCTURAL & OTHER BUILDING ELEMENTS.
- FURNISH REQUIRED ATTIC VENTILATION, PER CBC SECTION 1203. VENT LOCATIONS: UNDER EAVE & RIDGE VENT.

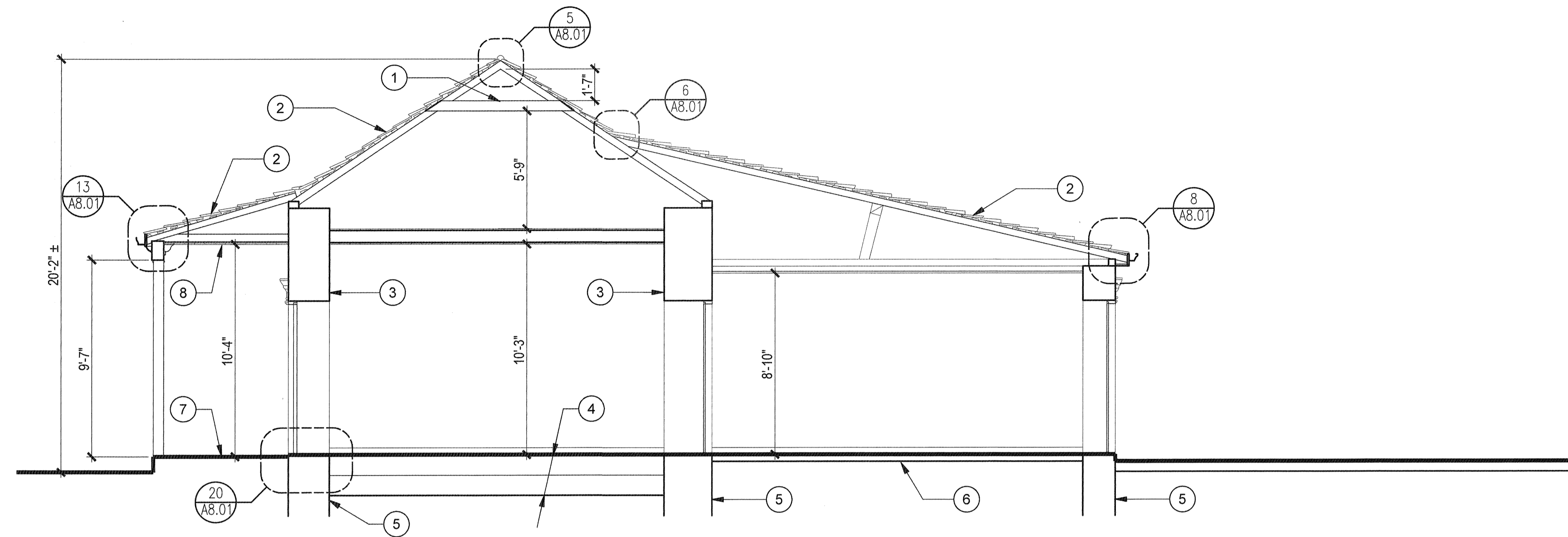
GARAVAGLIA ARCHITECTURE
 582 MARKET STREET
 SUITE 1800
 SAN FRANCISCO, CA 94104
 T: 415.391.9633
 F: 415.391.9647
 www.garavaglia.com

MORAGA ADOBE

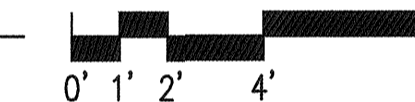
AT J&J RANCH REHABILITATION

24 ADOBE LANE
 ORINDA, CA 94563

APPROVED BY ORINDA PLANNING DEPARTMENT
 SIGNATURE/DATE

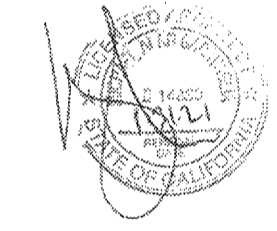


1 CROSS-SECTION
 SCALE: 1/4" = 1'-0"



KEY NOTES

- (E) 1x6 COLLAR TIES @ 5'-0" ± O.C.
- (N) FIRE RETARDANT TREATED WOOD SHAKE ROOFING O/ VENTILATION MAT ON (N) STRUCTURAL SHEATHING.
- (E) ADOBE WALL.
- (N) WOOD FLOOR & (N) FLOOR FRAMING, S.S.D., OVER (E) FILLED-IN BASEMENT.
- (E) FOUNDATION.
- (E) CONC SLAB.
- LEVEL LANDING 1/4" BELOW F.F.
- INSTALL (N) 5/8" TYPE "X" GYP BD. BEHIND (E) T&G SOFFIT BOARDS.



SECTION PROPOSED

PROJ. NO. 2016-051
 SCALE AS NOTED
 DATE 17 FEB 2017
 PHASE PERMIT
 DRAWN HA
 CHECKED AW

NO. DATE REVISION
 30 APR 2018 19-009893-1
 19-009893-2

CENTRAL COUNTY OFFICE OF BUILDINGS INSPECTION DIVISION
 PERMIT NUMBER

THESE PLANS MUST BE KEPT ON THE PREMISES AND ACCESSIBLE TO INSPECTORS AT ALL TIMES.

SEP 29 2019

FOR COMPLIANCE WITH COUNTY BUILDING CODE & CODES THE DRAWINGS OF THESE PLANS SHALL BE KEPT ON HAND AT ALL TIMES. ANY CHANGES TO THE INFORMATION ON THESE PLANS SHALL BE MADE BY THE ARCHITECT. ANY CHANGES SHALL BE MADE WITHOUT NOTICE TO THE BUILDING OFFICIAL.

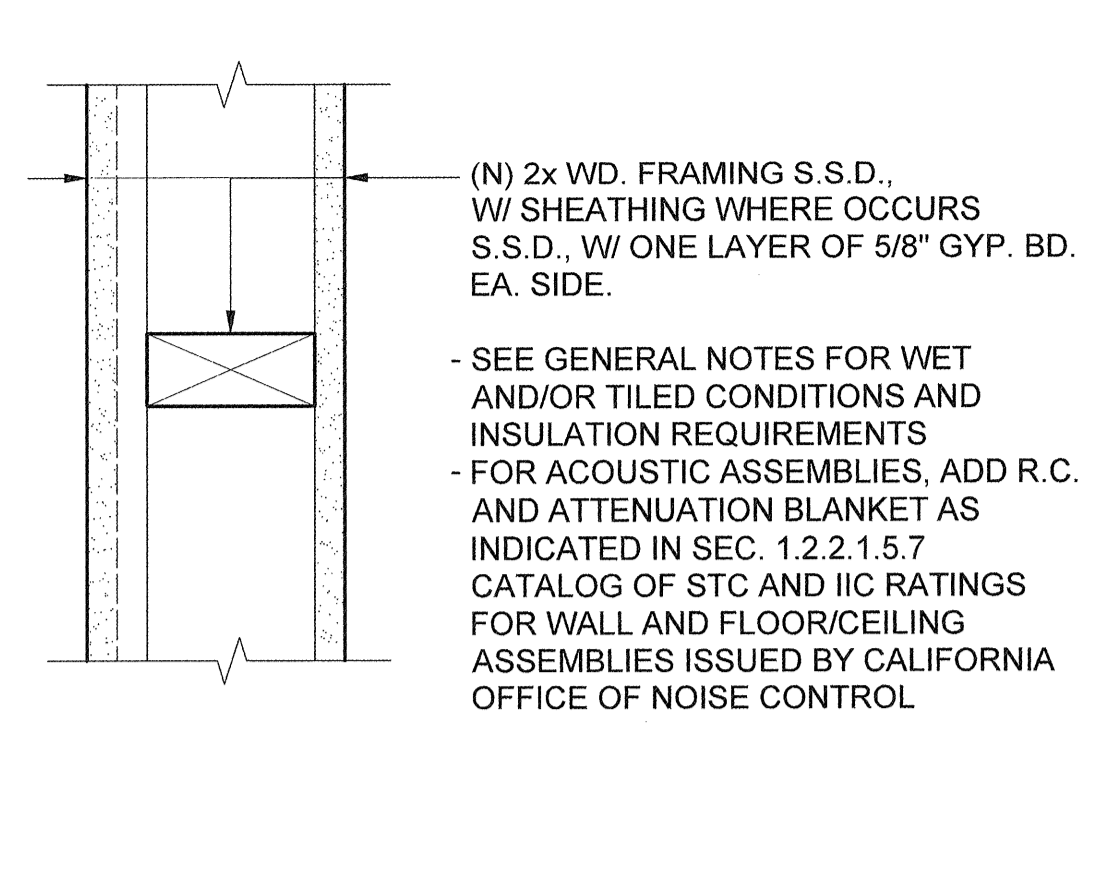
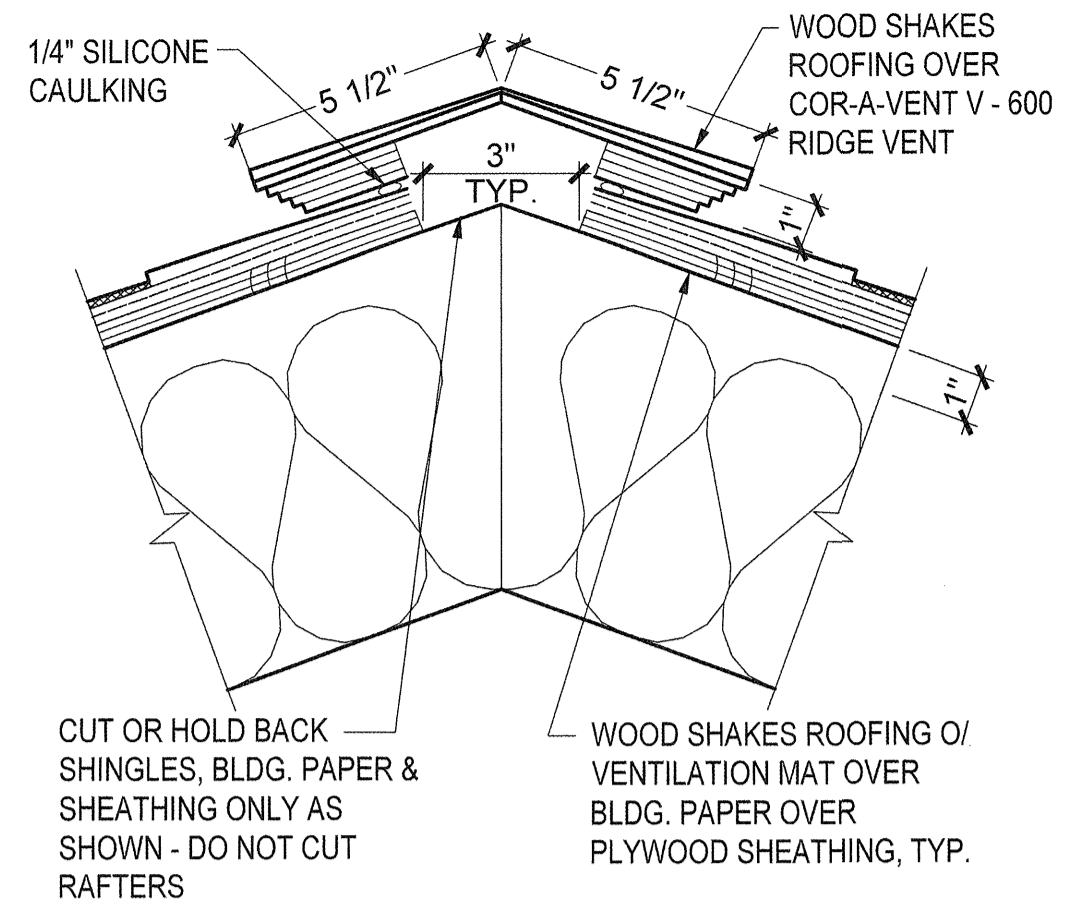
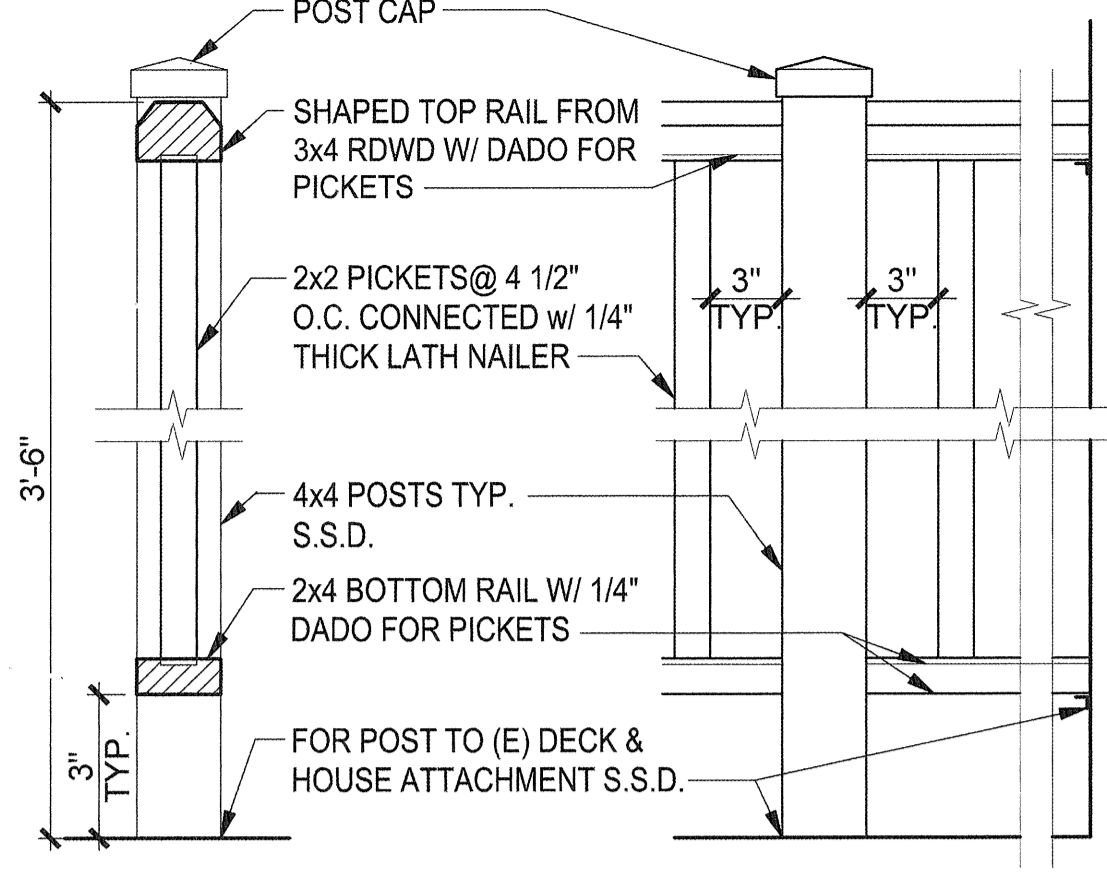
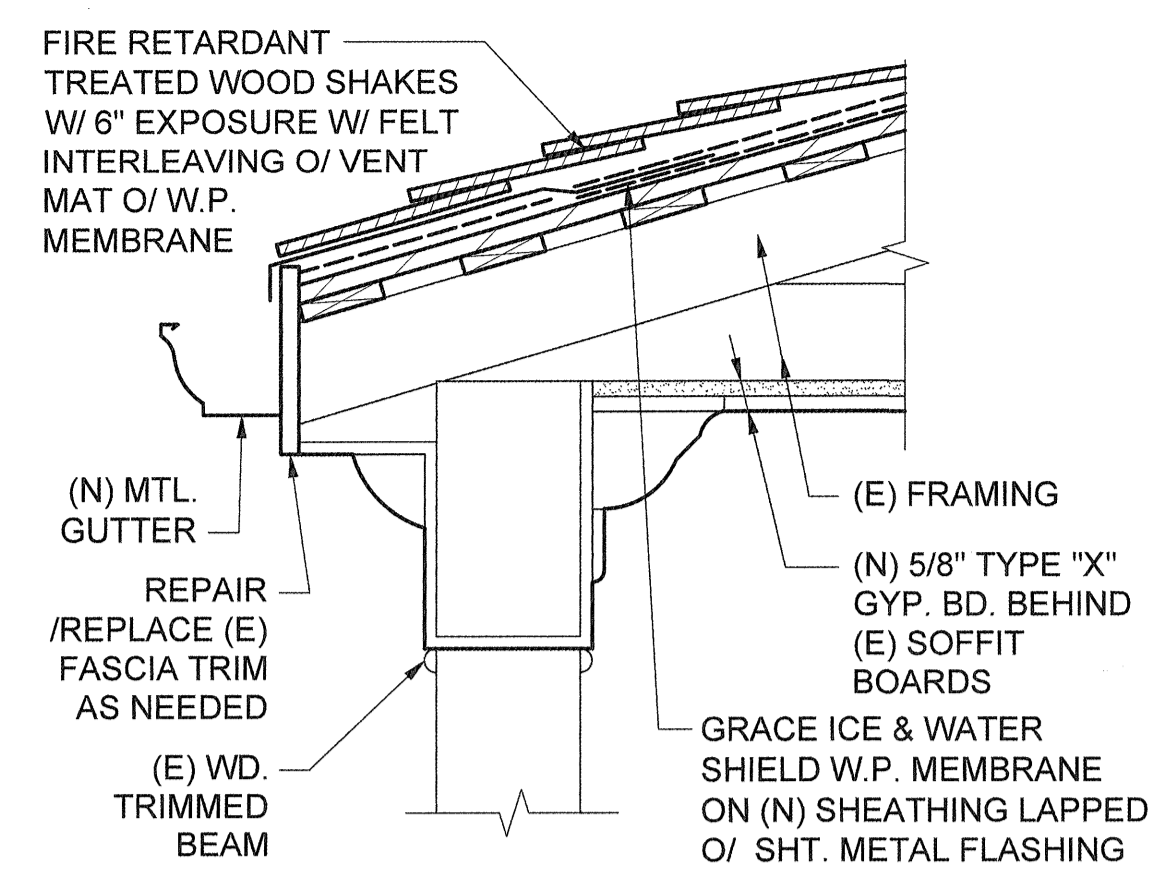
CCCSD
 APR 12 '19

SHEET NO. **A-3.21**

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MORAGA ADOBE
 AT J&J RANCH
 REHABILITATION

24 ADOBE LANE
 ORINDA, CA 94563



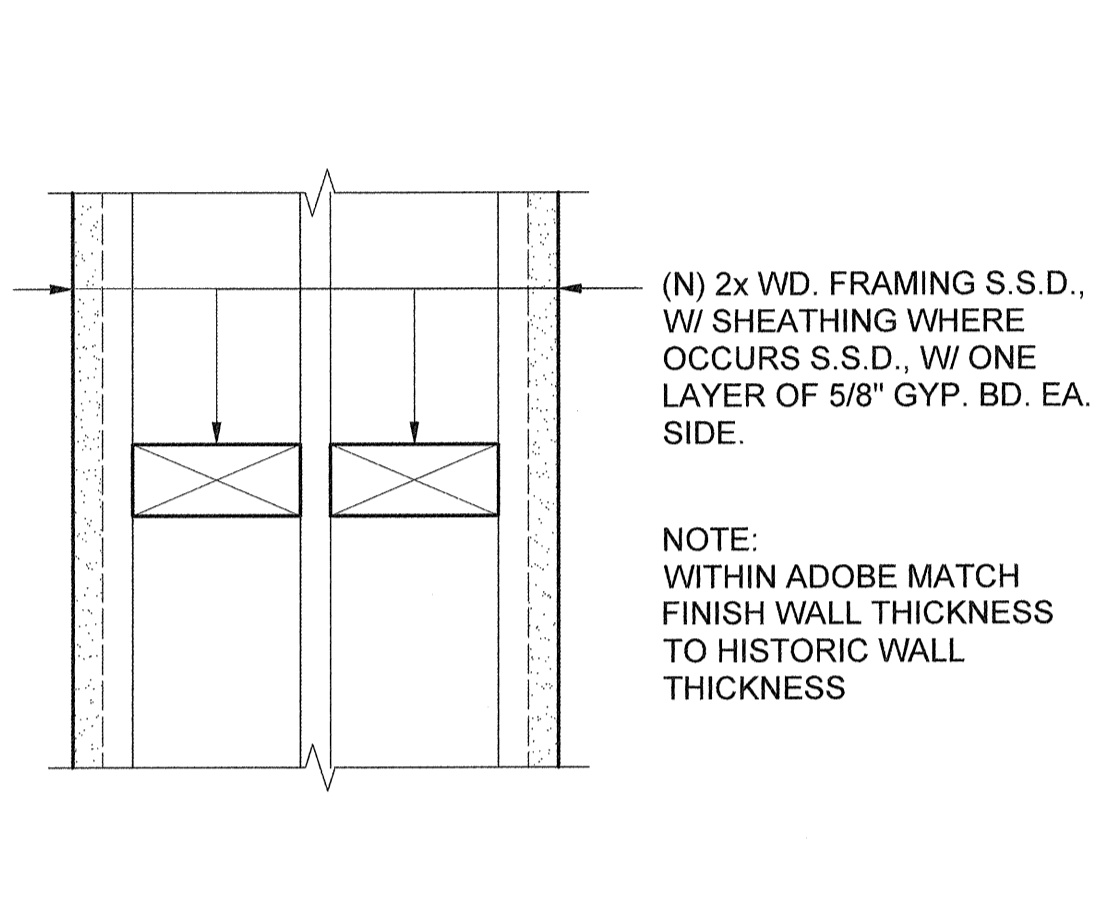
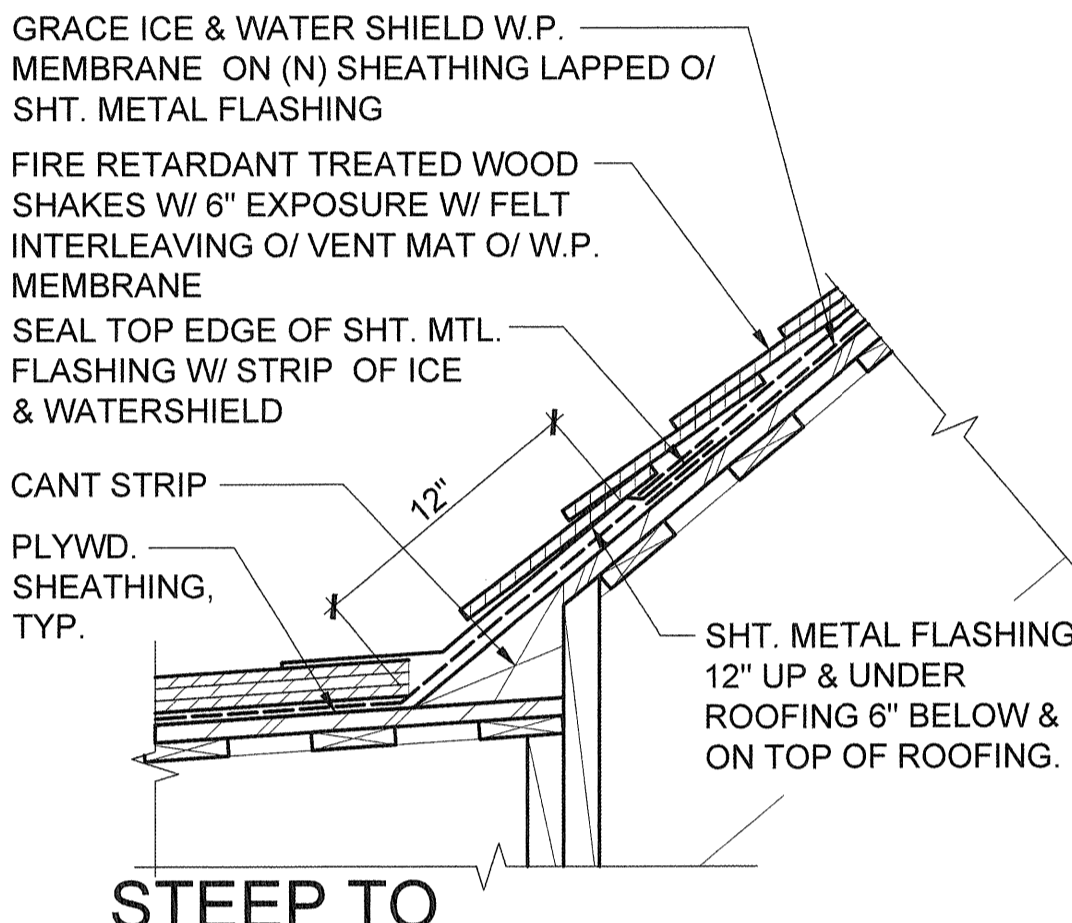
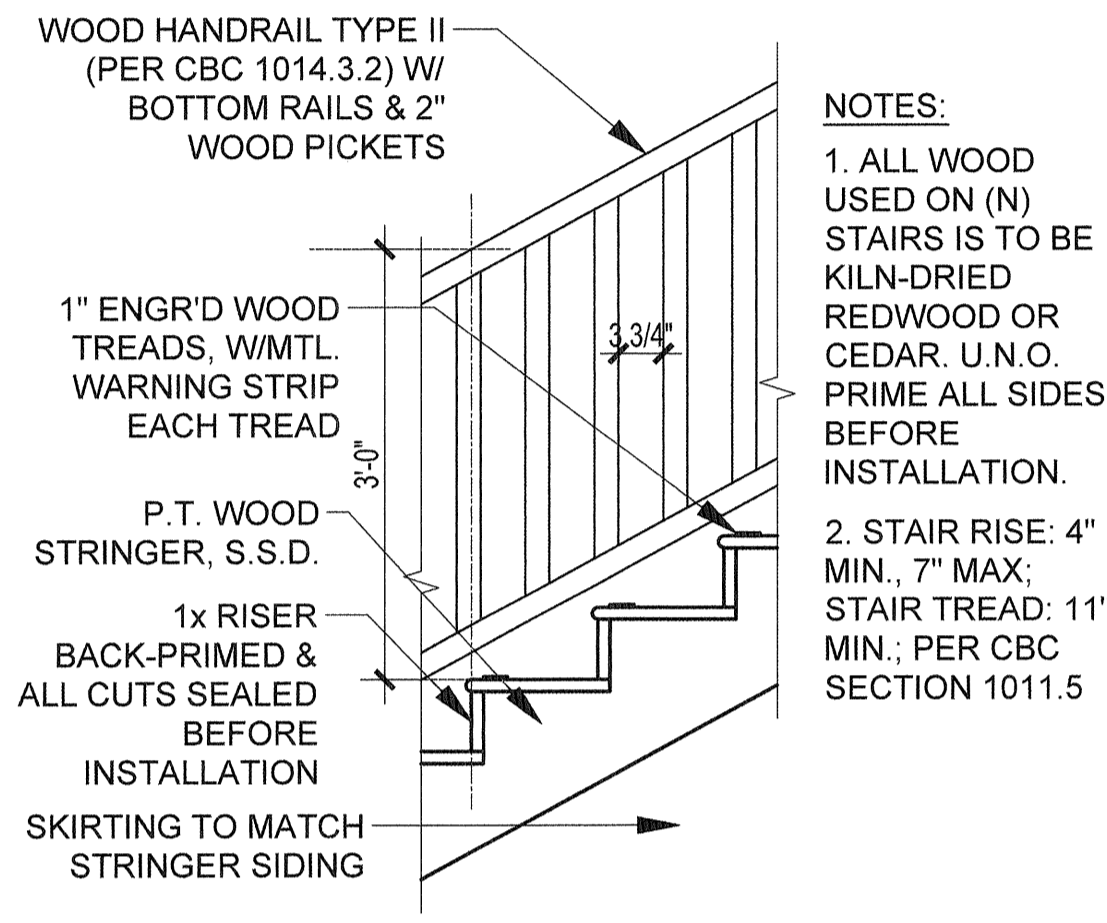
17 DETAIL
 SCALE: 1 1/2" = 1'-0"

13 EAVE
 SCALE: 1 1/2" = 1'-0"

9 GUARD @ TOP LANDING
 SCALE: 1 1/2" = 1'-0"

5 RIDGE VENT
 SCALE: 3" = 1'-0"

1 NON-RATED INT. WALL
 SCALE: 3" = 1'-0"



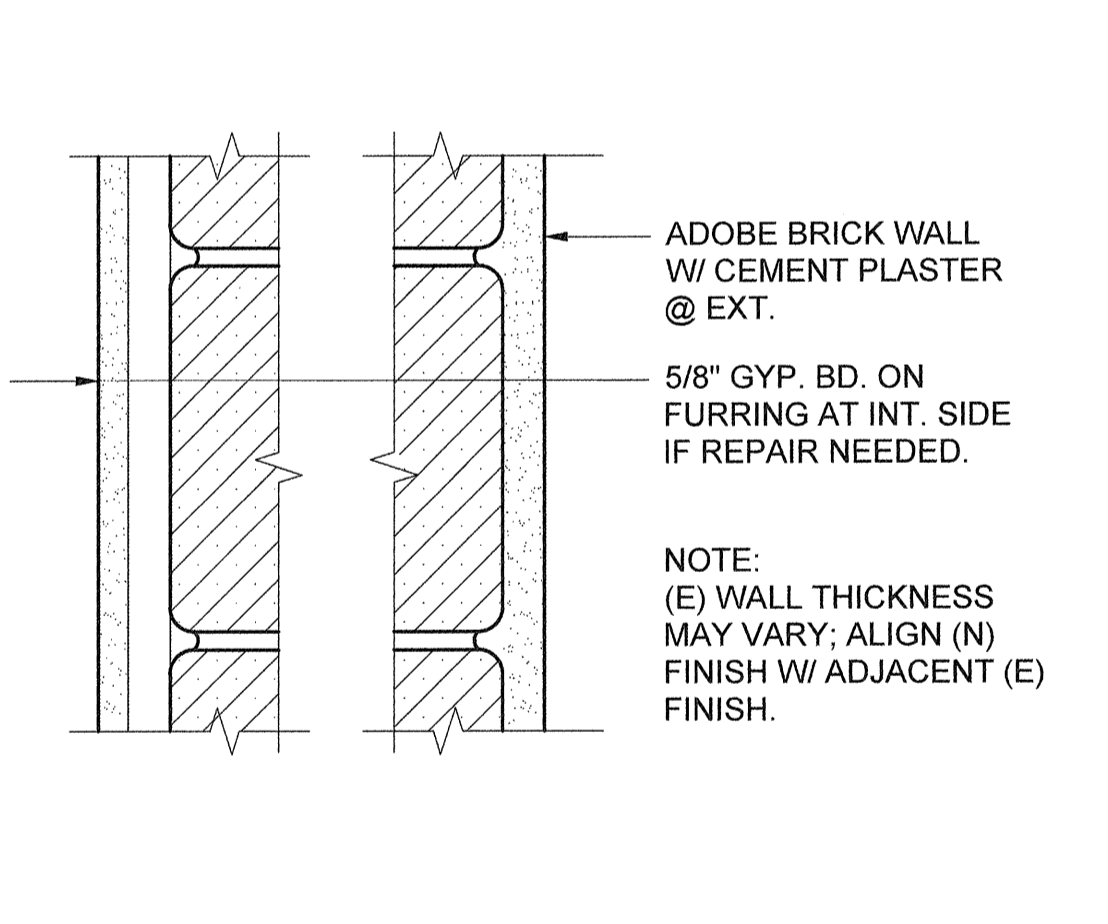
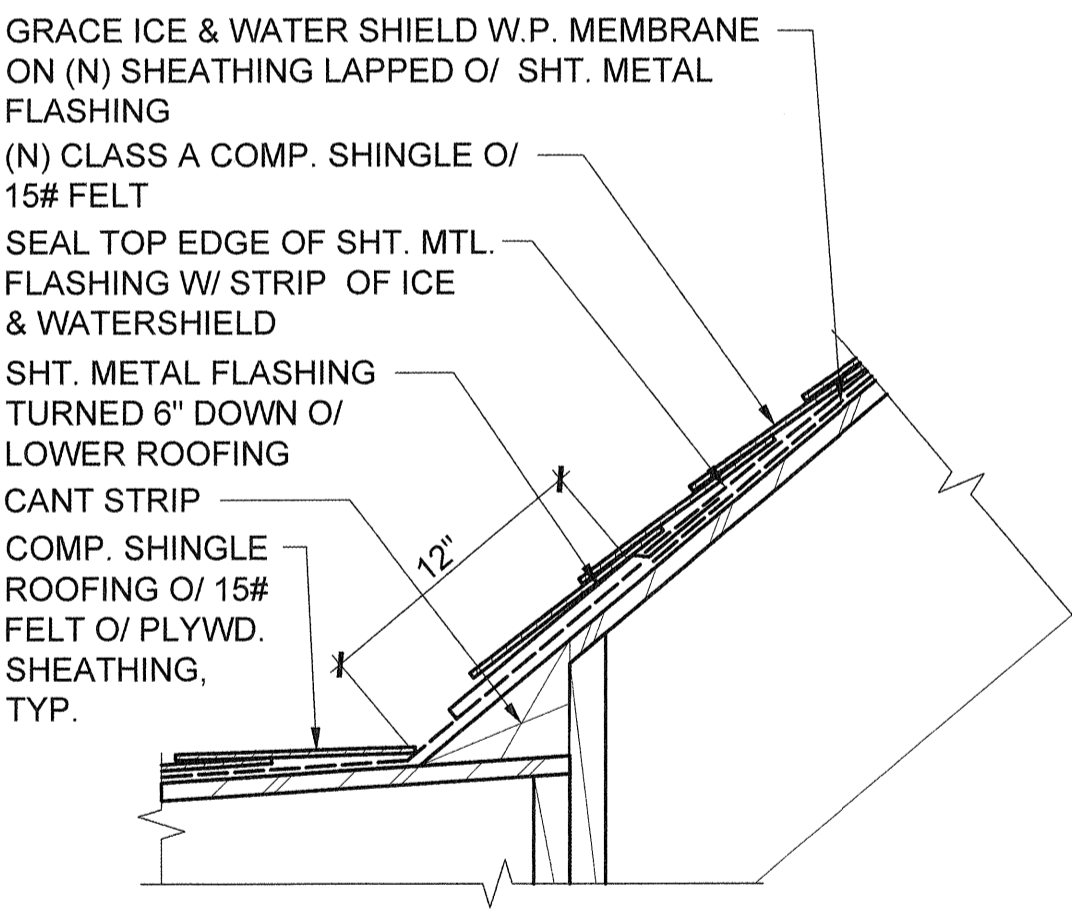
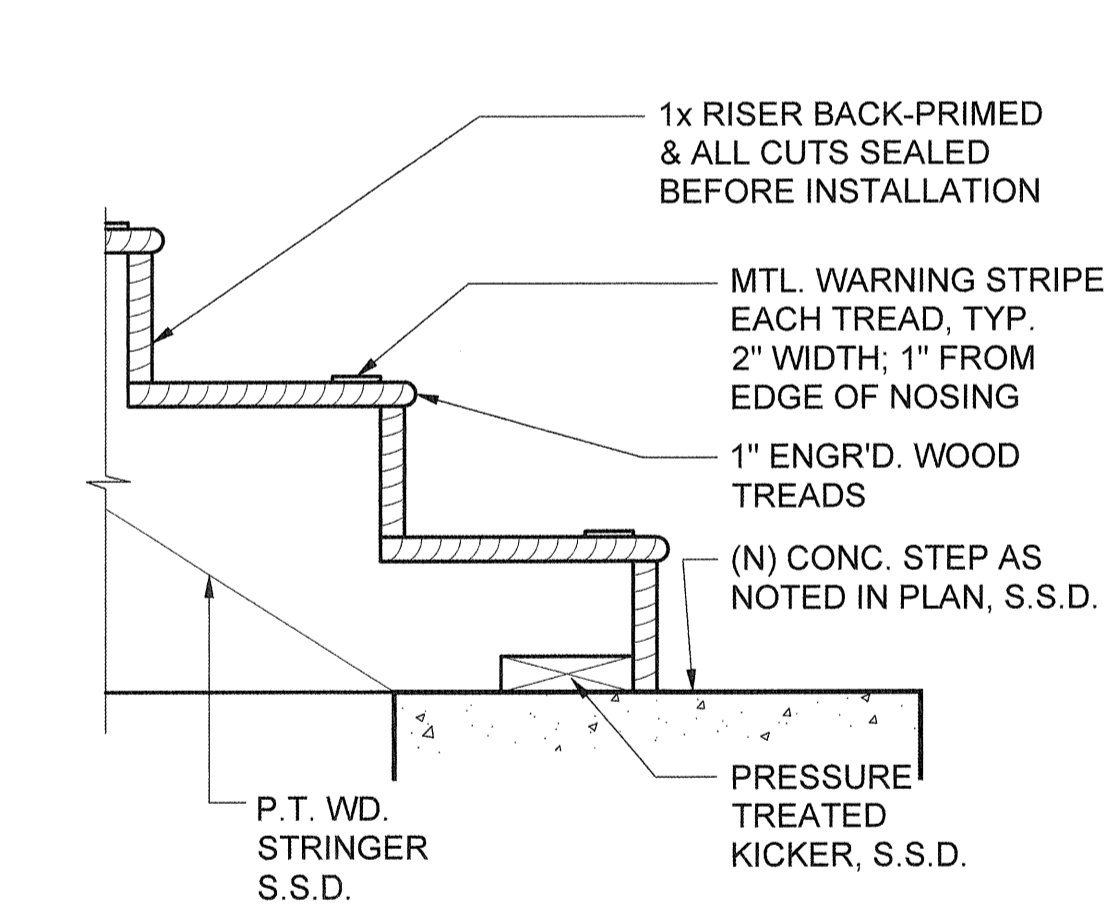
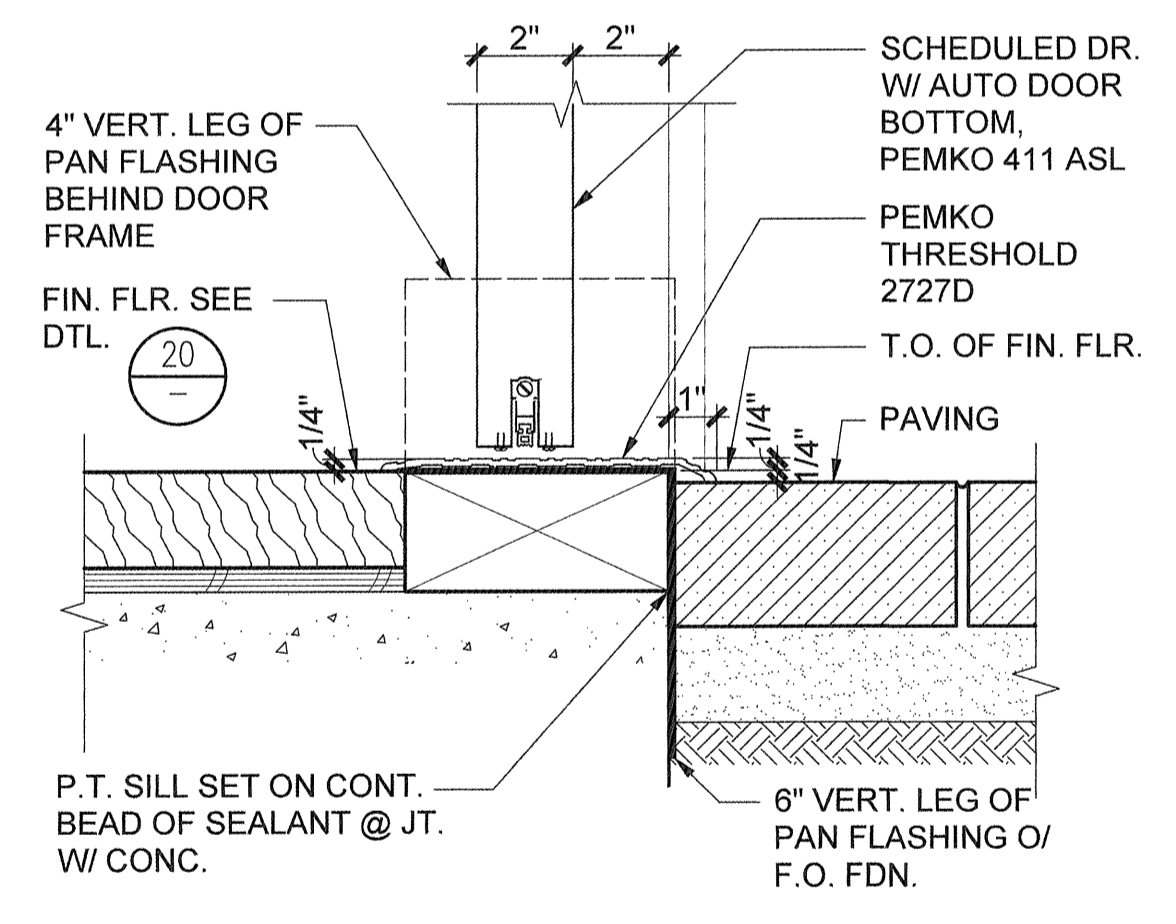
18 DETAIL
 SCALE: 1 1/2" = 1'-0"

14 DETAIL
 SCALE: 1 1/2" = 1'-0"

10 GUARD @ STAIR
 SCALE: 3/4" = 1'-0"

6 STEEP TO LOW-SLOPE - SHAKES
 SCALE: 1 1/2" = 1'-0"

2 DOUBLE STUD INT. WALL
 SCALE: 3" = 1'-0"



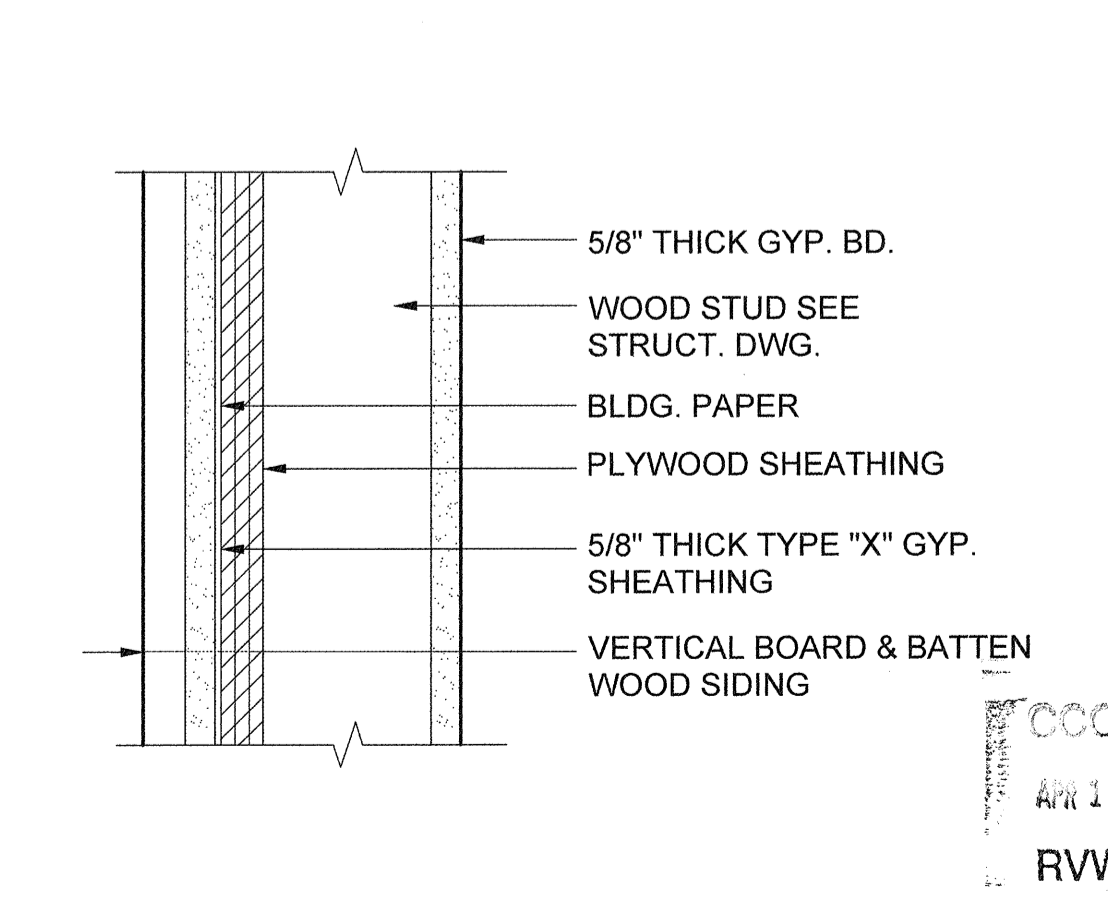
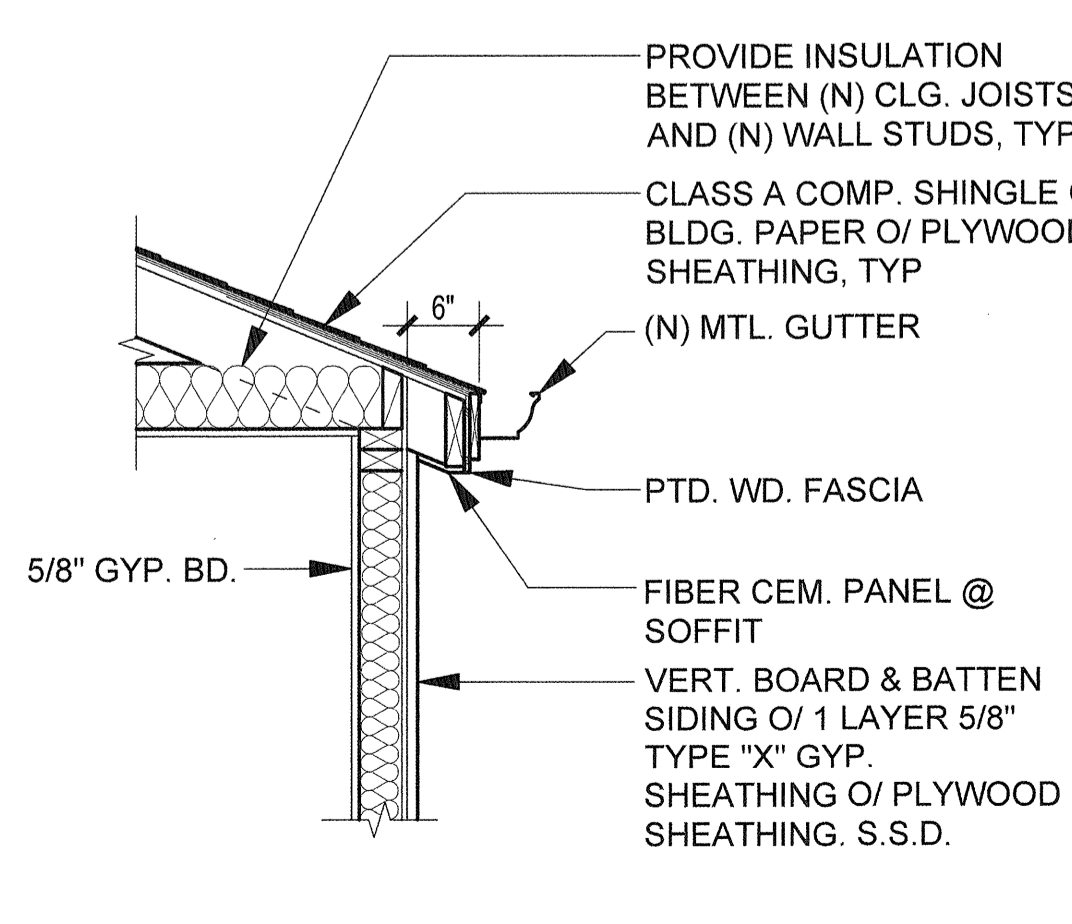
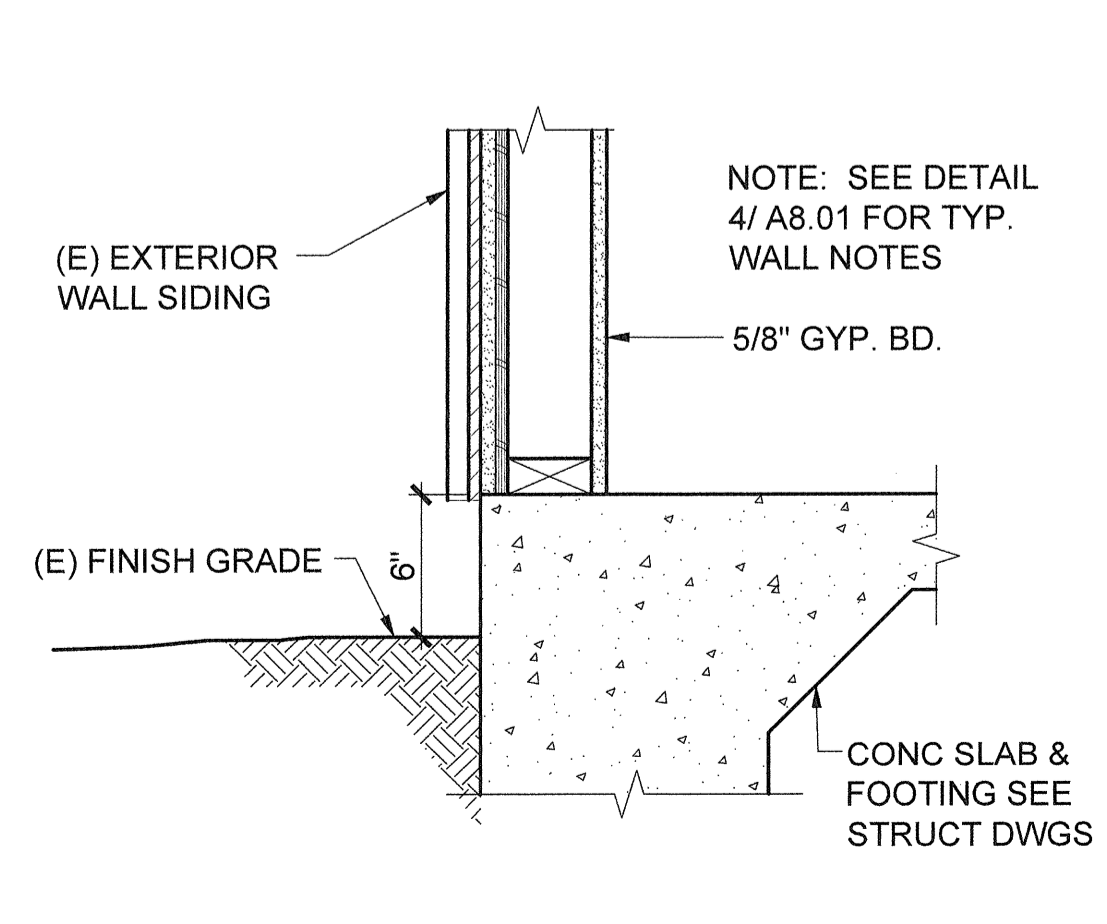
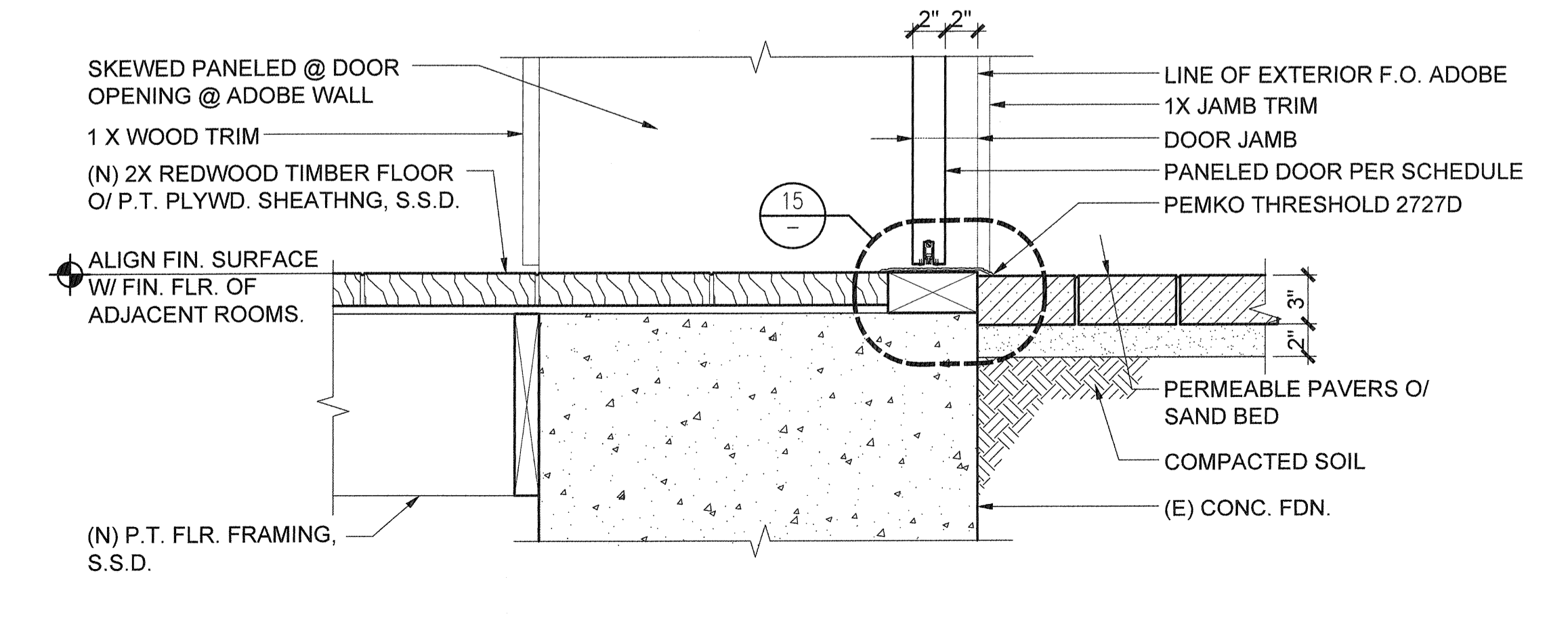
19 DETAIL
 SCALE: 1 1/2" = 1'-0"

15 THRESHOLD
 SCALE: 3" = 1'-0"

11 EXT. STAIR BOTTOM
 SCALE: 1 1/2" = 1'-0"

7 STEEP TO LOW - SLOPE
 SCALE: 1 1/2" = 1'-0"

3 ADOBE BRICK WALL
 SCALE: 1 1/2" = 1'-0"

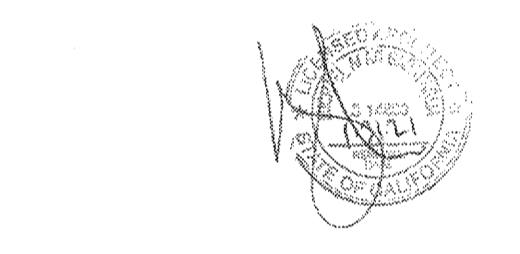


20 ACCESSIBLE THRESHOLD
 SCALE: 1 1/2" = 1'-0"

12 WALL @ FDN.
 SCALE: 1 1/2" = 1'-0"

8 ACC. BLDG. - EAVE
 SCALE: 3/4" = 1'-0"

4 ACC BLDG. - EXT. WALL
 SCALE: 3" = 1'-0"



DETAILS

PROJ. NO. 2016-051
 SCALE AS NOTED
 DATE 02 APR 2018
 PHASE PERMIT
 DRAWN HA
 CHECKED AW

NO. DATE REVISION
 30 APR 2018 PERMIT SET
 19-008473
 BUILDING INSPECTION DIVISION
 PERMIT NUMBER

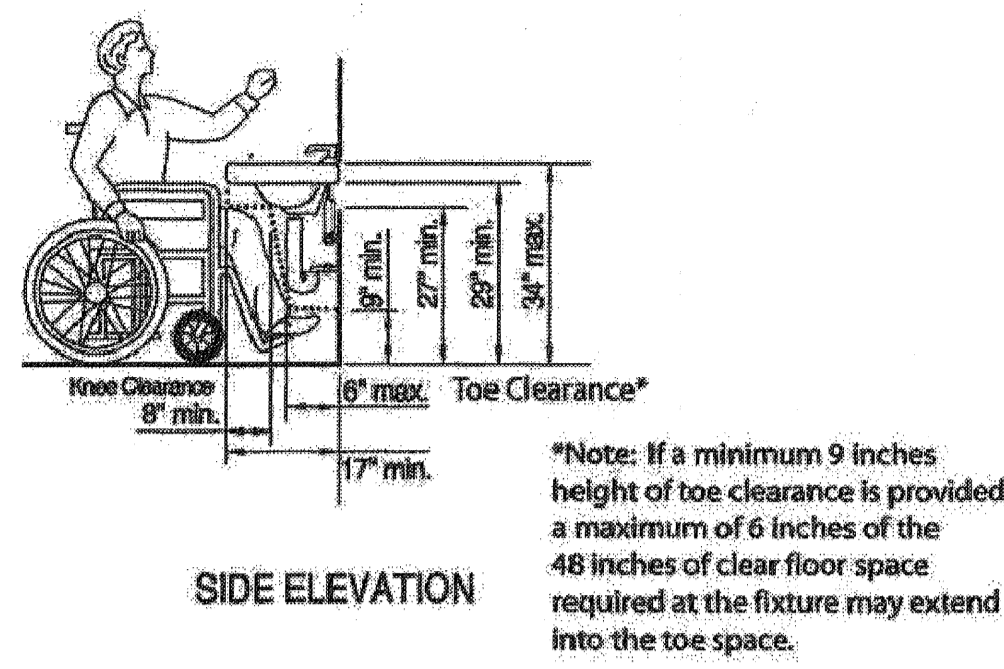
19-009893-
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CCCSD
 APR 12 '19 SHEET NO.
 RWVD: A-8.01

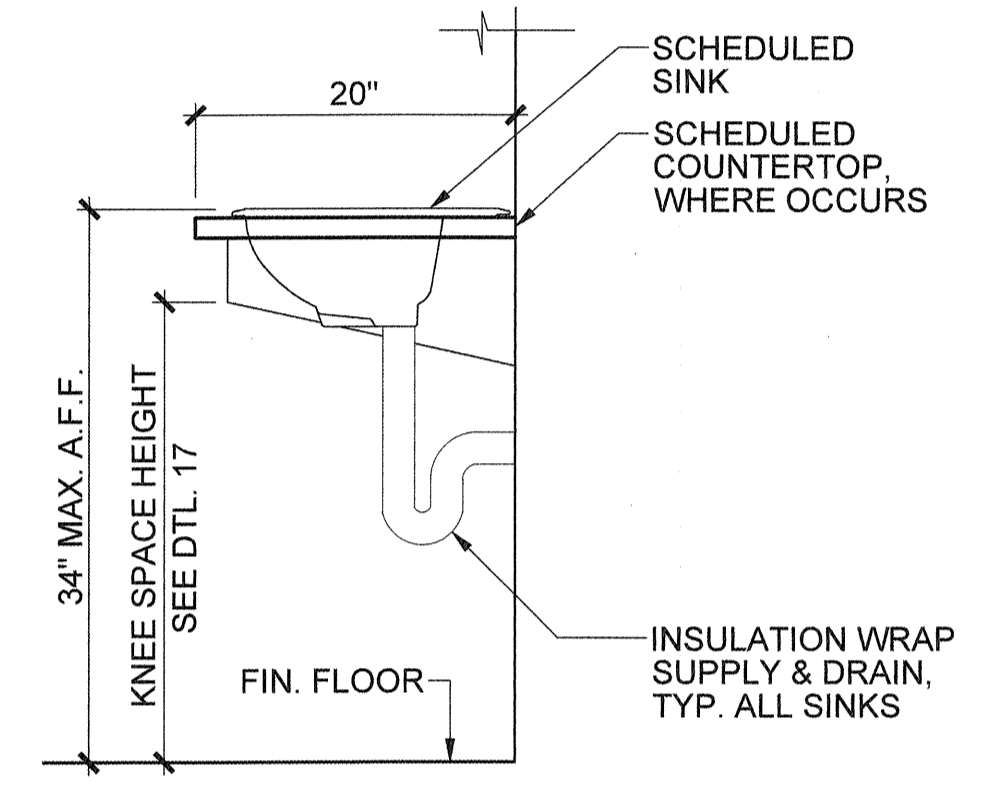
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SHEET NOTES

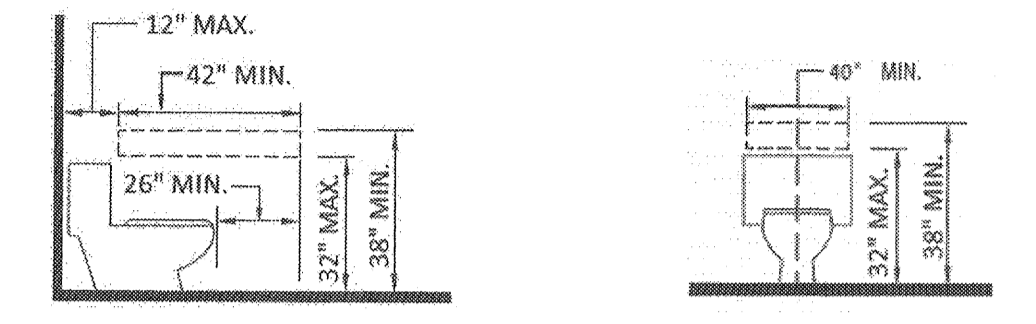
- ALL CODE REFERENCES ARE TO 2016 CBC.
- SEE FLOOR PLAN FOR LOCATIONS OF RESTROOM FIXTURES & ACCESSORIES.
- SEE DETAIL 12 FOR TYPICAL SIGNAGE MOUNTING HEIGHTS.
- SEE DETAIL 20 FOR TYPICAL ACCESSORY MOUNTING HEIGHTS.
- SEE DTL. 19 FOR ACCESSORIES LEGEND.
- SEE DTL. 10 FOR REQUIRED CODE CLEARANCES FOR A SINGLE ACCOMMODATION TOILET.
- SEE PLUMBING DWGS./SPECS. FOR FIXTURES AND ARCH. SPECS. FOR ACCESSORIES, TYP.
- PIPES - HOT WATER AND DRAIN PIPES SHALL BE INSULATED OR OTHERWISE COVERED. SEE DETAIL FOR REQUIRED KNEE AND TOE SPACE UNDER LAVATORIES AND SINKS.
- CONTROLS AND SWITCHES - CONTROLS AT LAVATORIES, SHALL BE OPERABLE BY ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. FLUSH VALVES SHALL BE LOCATED 44" MAX. A.F.F.
- GRAB BAR REINFORCEMENT SHALL BE INSTALLED PER DTL. 9 & DTL. 13.
- OPERATING HANDLE MUST OPERATE WITH MAXIMUM 5# MAXIMUM OPERATING FORCE OR AUTOMATIC.
- RIM OF URINAL TO EXTEND A MINIMUM OF 14" FROM FACE OF WALL.
- ALL DISPENSERS 40" MAX TO HIGHEST OPERABLE PART OF ACCESSORY.
- SLOPE FLOOR TOWARDS DRAIN MIN. 1/4" PER FOOT.
- FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET PER SEC 11B-604.6.
- TYP. DIMS. SHOWN ARE PER CBC REQUIREMENTS & MAY NOT BE PROJECT SPECIFIC. CONTRACTOR SHALL VERIFY IN FIELD & ADVISE ARCHITECT RE DISCREPANCY BEFORE PROCEEDING W/ ANY AFFECTED WORK.
- CONTRACTOR SHALL PREPARE & ISSUE A SUBMITTAL FOR ALL PLUMBING FIXTURES & ACCESSORIES. SUBMITTAL SHALL CLEARLY STATE ANY REQUESTED SUBSTITUTIONS, INCLUDING WHETHER ANY PRODUCT DIMENSIONS IN THE SUBMITTAL VARY FROM DIMS. SHOWN ON DRAWINGS. CONTRACTOR SHALL SUBMIT REVISED LAYOUT AND OBTAIN APPROVAL FOR SUBMITTAL BEFORE ORDERING ANY PRODUCTS.



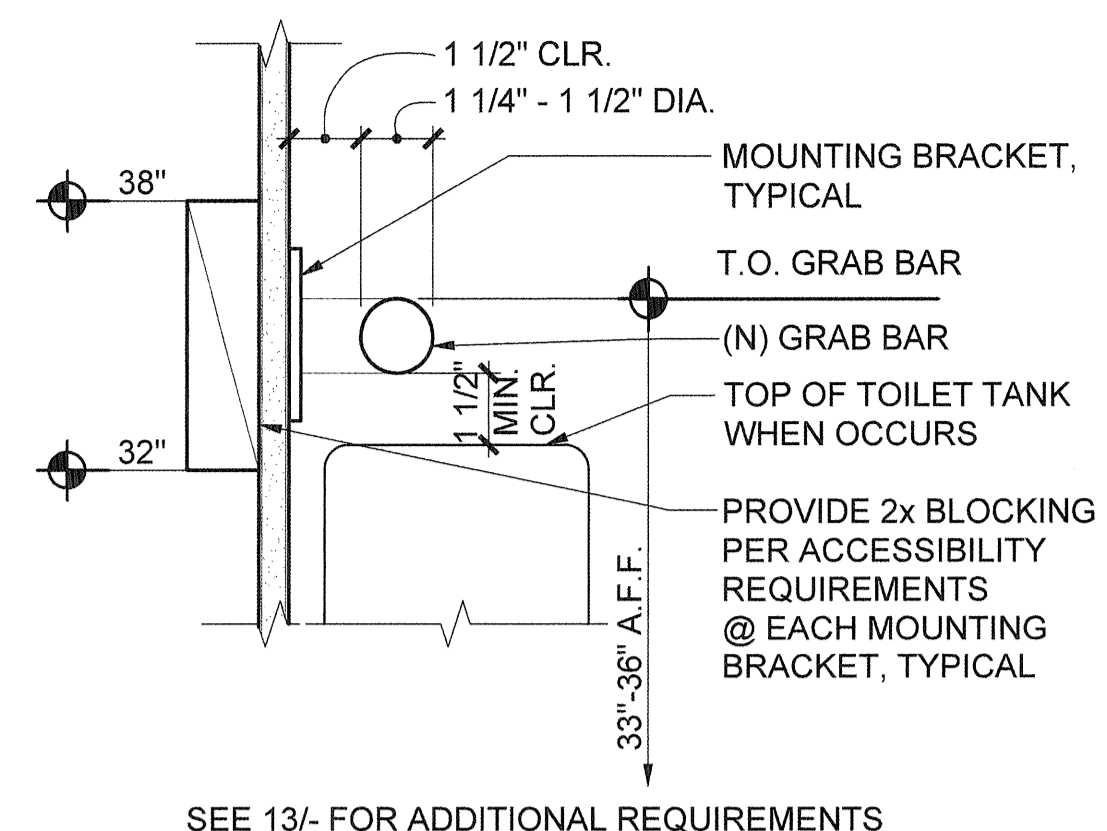
17 KNEE SPACE CLEARANCE
 NO SCALE



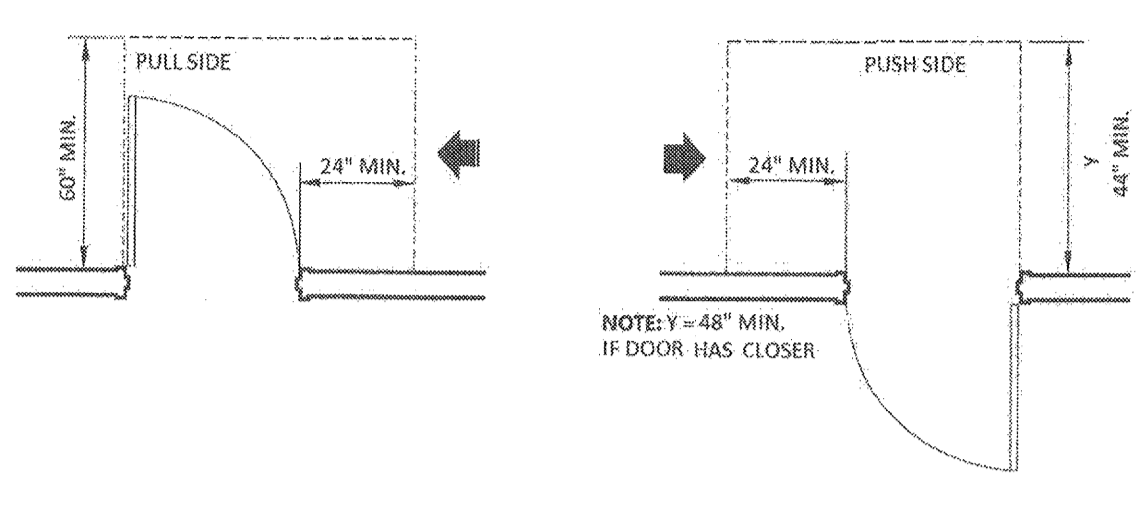
18 TYP. LAV.
 NO SCALE



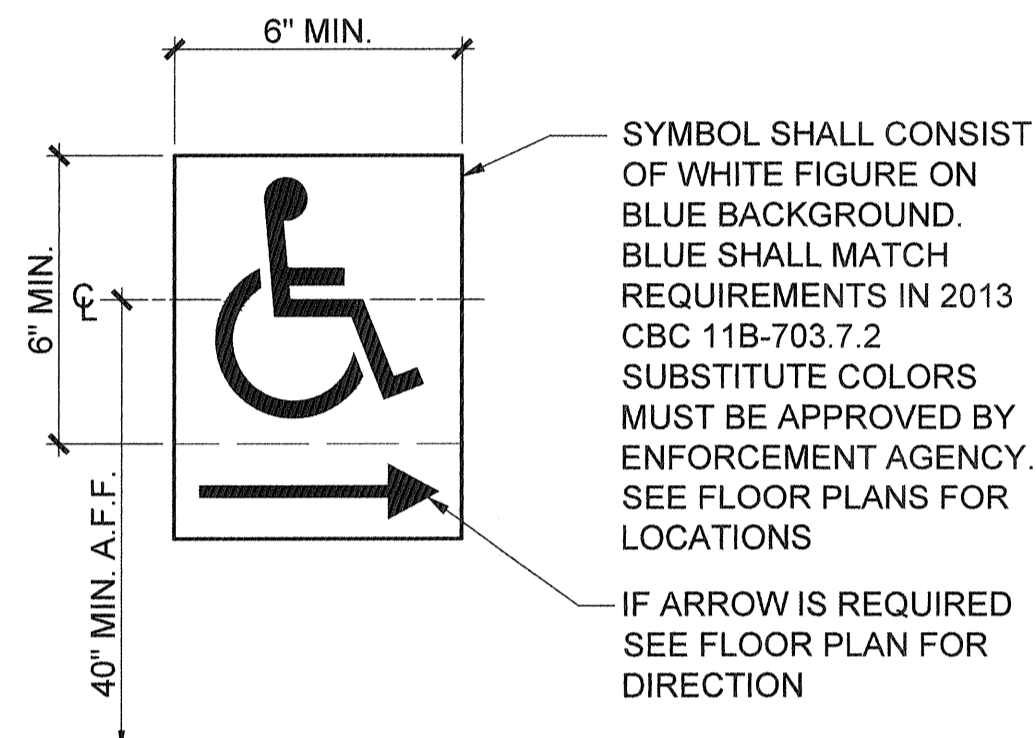
13 GRAB BAR SOLID BLOCKING
 NO SCALE



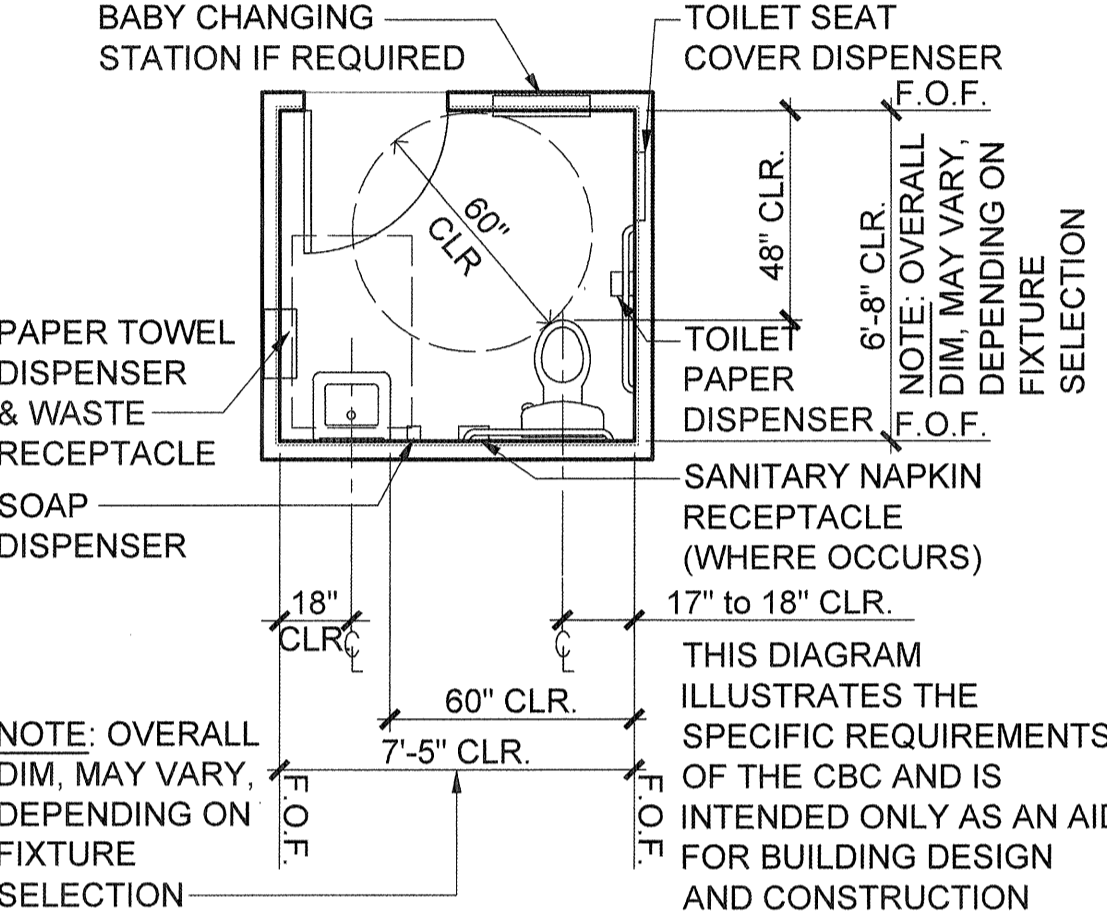
9 BLOCKING FOR GRAB BARS
 SCALE: 3" = 1'-0"



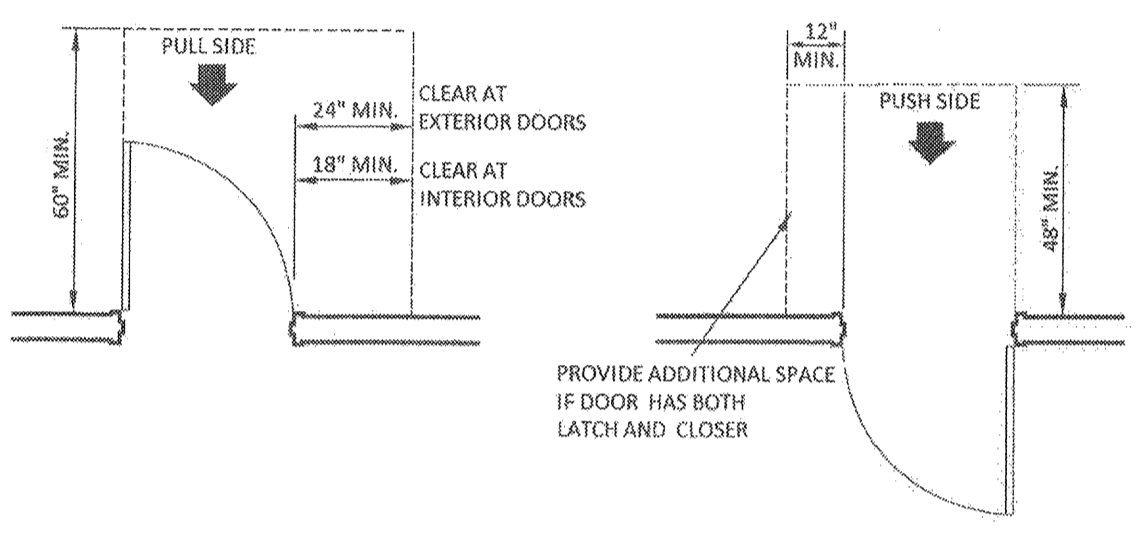
5 LATCH SIDE APPROACH
 NO SCALE



14 PATH OF ACCESSIBLE TRAVEL SIGN
 3" = 1'-0"



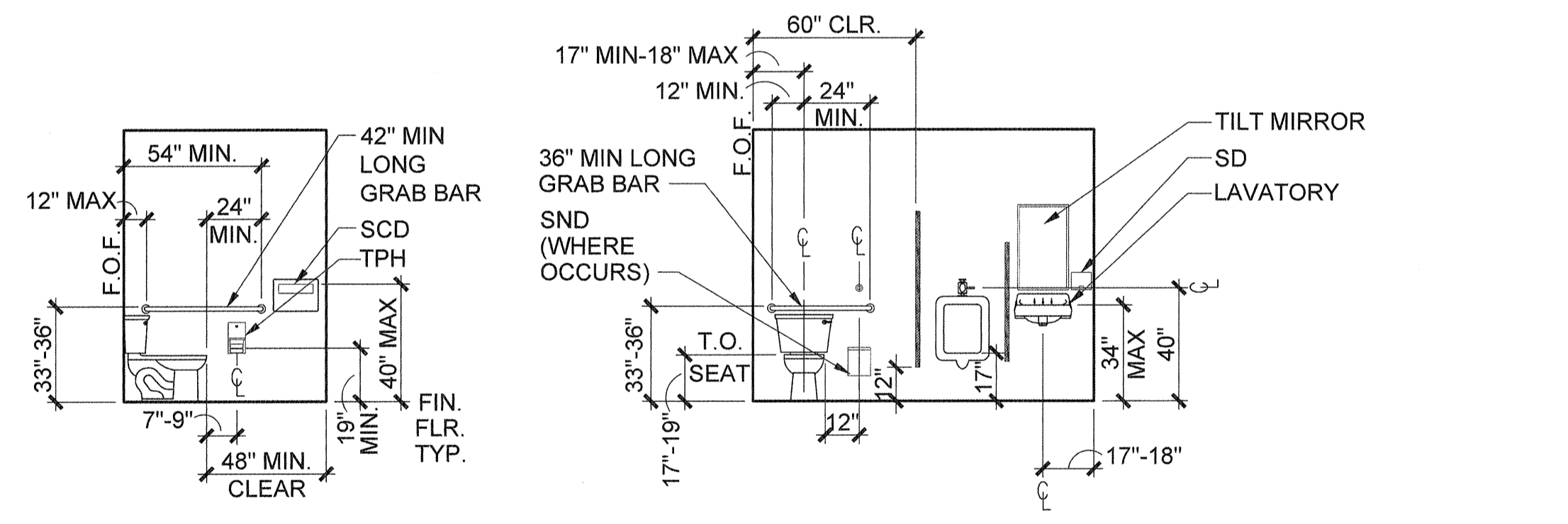
10 SINGLE ACCOM. TOILET
 NO SCALE



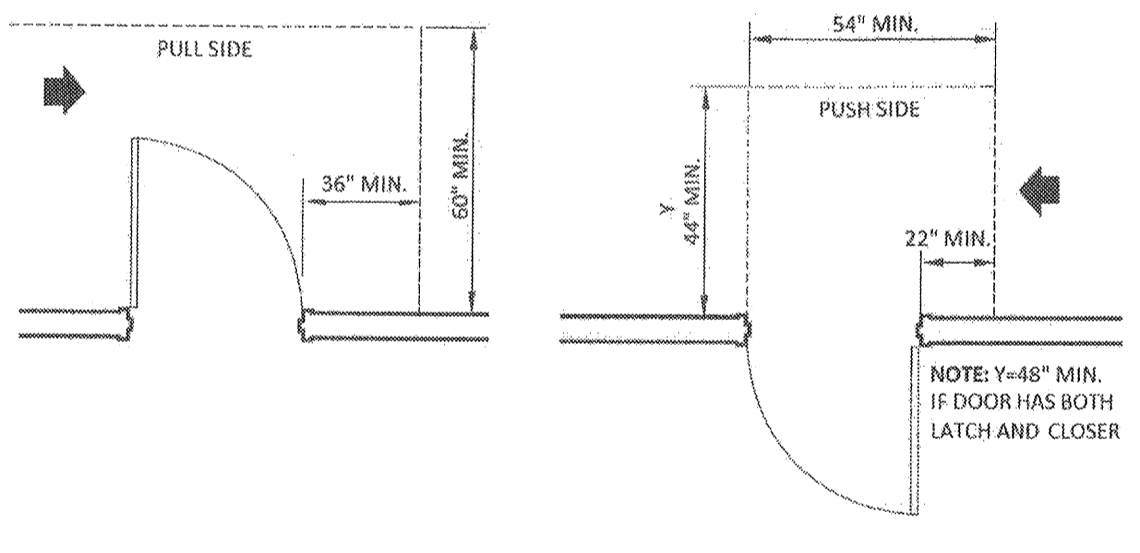
6 FRONT APPROACH
 NO SCALE

- | | |
|-----------------------------------------|-----------------------------------------------------------------------------------------|
| 1 RECESSED TOWEL DISPENSER & RECEPTACLE | 9 SEAT COVER DISPENSER |
| 2 SOAP DISPENSER | 10 RECESSED SANITARY NAPKIN DISPENSER |
| 3 MIRROR | 11 PARTITION MOUNTED SANITARY NAPKIN DISPOSAL, SEAT COVER & TOILET PAPER DISPENSER |
| 4 TOILET PAPER DISPENSER | 12 SURFACE MTD. SEAT COVER DISPENSER, SANITARY NAPKIN DISPOSAL & TOILET PAPER DISPENSER |
| 5 SANITARY NAPKIN RECEPTACLE | 13 ELECTRIC HAND DRYER |
| 6 ROBE HOOK | 14 SURFACE MOUNT WASTE RECEPTACLE |
| 7 BABY CHANGING STATION | |
| 8 UTILITY SHELF | |
- NOTE: "B-" NUMBERS ARE FOR BOBRICK PRODUCTS

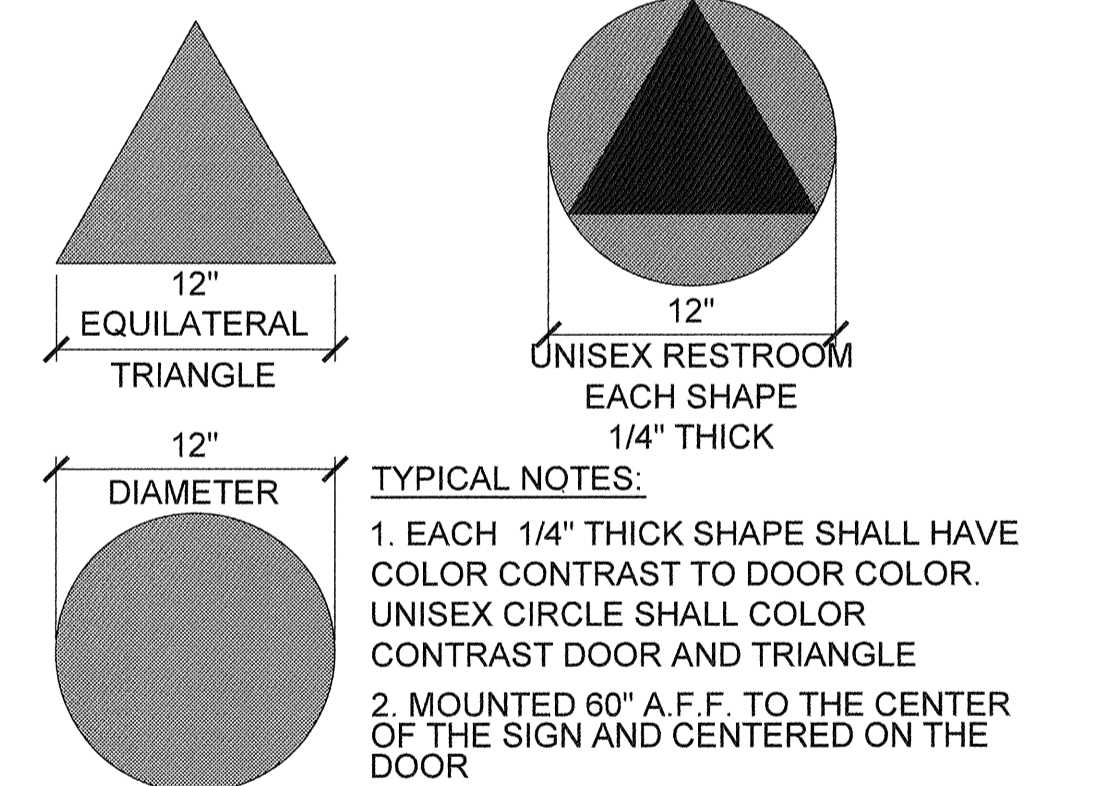
19 ACCESSORIES LEGEND
 SCALE: 1/4" = 1'-0"



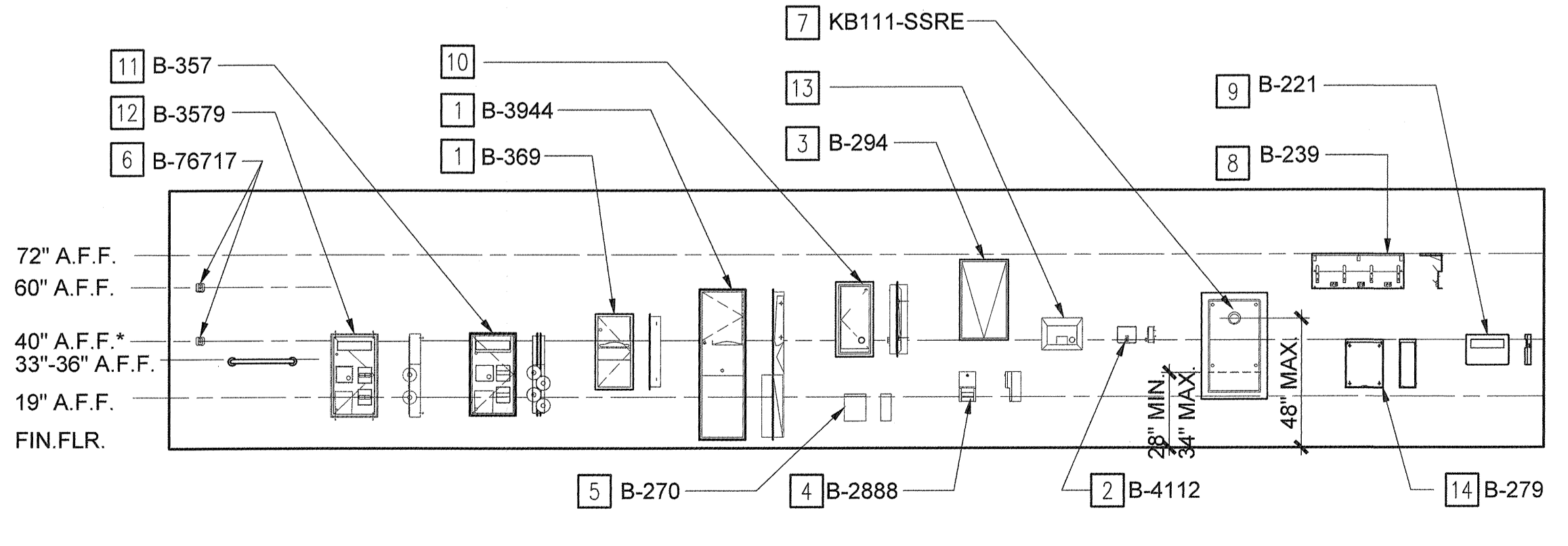
15 TYP. RESTROOM FIXTURE MOUNTING LOCATIONS
 SCALE: 1/4" = 1'-0"



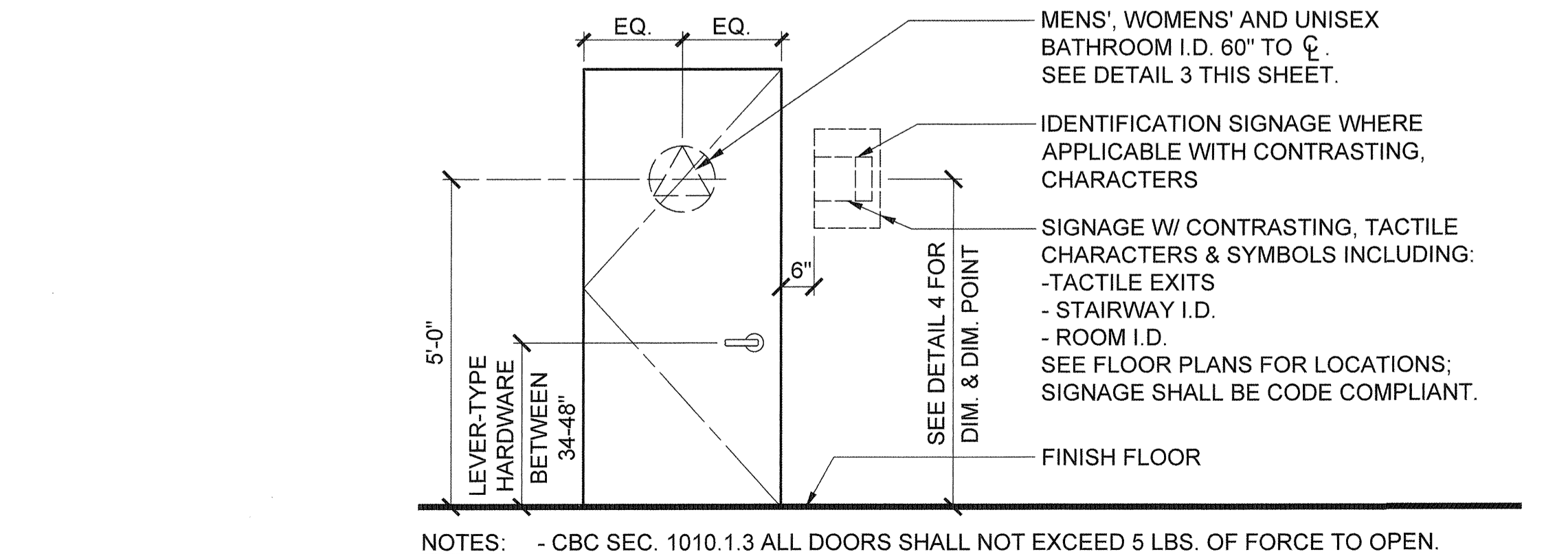
7 HINGE SIDE APPROACH
 NO SCALE



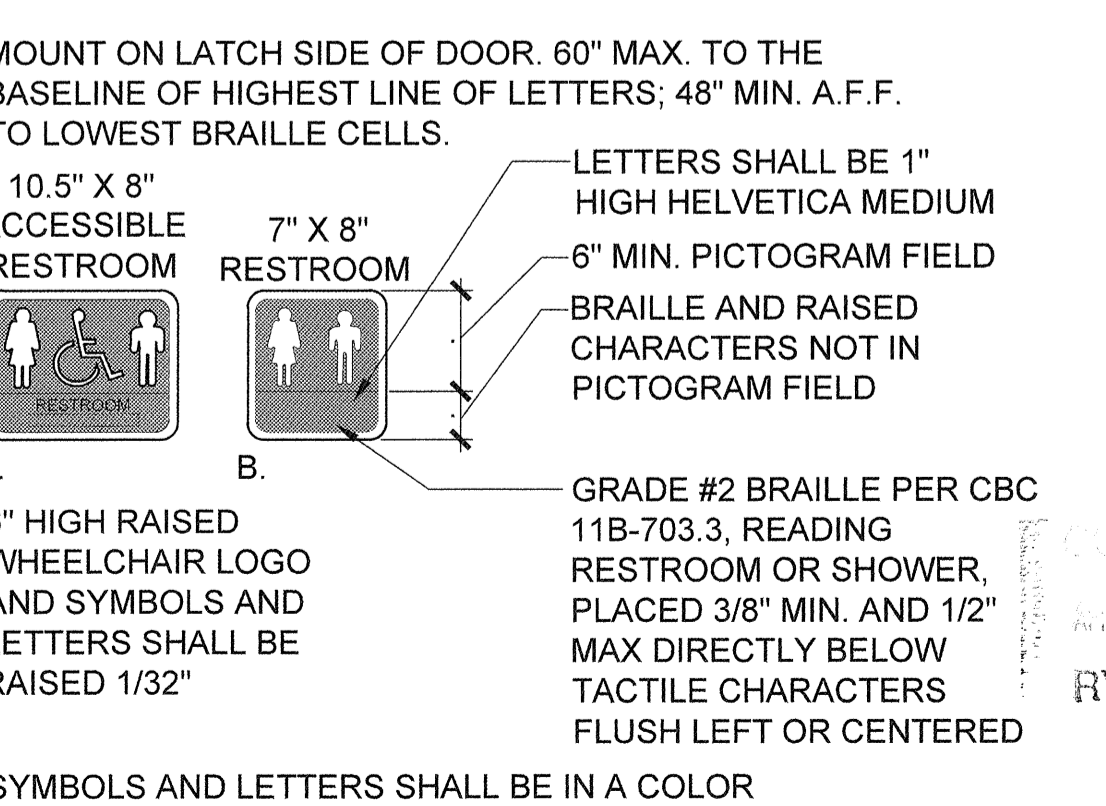
3 SIGNAGE SYMBOLS
 SCALE: 1 1/2" = 1'-0"



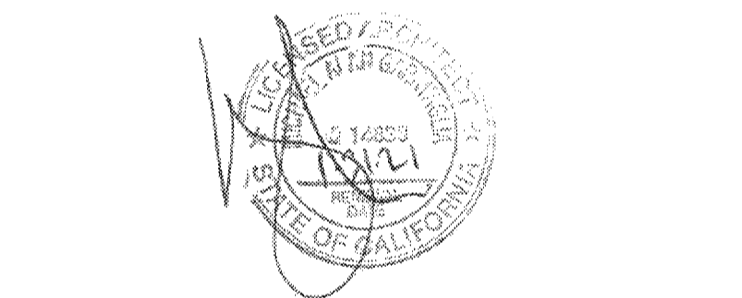
20 TYP. RESTROOM ACCESSORIES MOUNTING HEIGHTS
 SCALE: 1/4" = 1'-0" SEE 19/- FOR LEGEND * OPERABLE PART SEE CBC SEC. 11B-309



12 MOUNTING LOCATIONS
 SCALE: 1/2" = 1'-0"



4 TOILET ROOM SIGNAGE
 SCALE: 1 1/2" = 1'-0"



ACCESSIBILITY DETAILS

PROJ. NO. 2016 - 051
 SCALE AS NOTED
 DATE 02 APR 2018
 PHASE PERMIT
 DRAWN HA
 CHECKED AW

NO. DATE REVISION
 30 APR 2018 PERMIT SET
 19-009893-
 19-009893-73
 BUILDING INSPECTION DIVISION
 PERMIT NUMBER

SEP 23 2019
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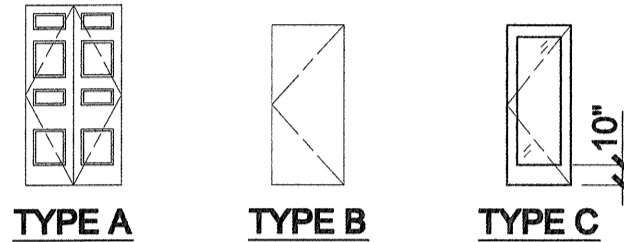
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SHEET NO.
A-9.01

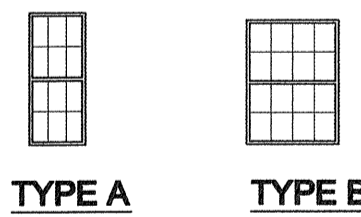
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DOOR NOTES	HARDWARE GROUPS
1. FIELD-VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING / FABRICATING DOORS AND FRAMES.	
2. PROVIDE SHOP DRAWINGS FOR ALL CUSTOM ASSEMBLIES.	
3. EXTERIOR DOORS TO BE 1-3/4" THICK; (N) INTERIOR DOORS TO MATCH THICKNESS OF (E).	
4. ALL LOCK KEYING SHALL BE COORDINATED WITH OWNER.	
5. FOR CUSTOM DOORS, IF A CLOSE MATCH FROM A STOCK MANUFACTURER IS AVAILABLE, PROVIDE SUBSTITUTION SUBMITTAL.	
6. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE FOR DOORS IN NEW, NON-HISTORIC LOCATION.	
7. FOR HISTORIC LOCATIONS WHERE SAFETY GLASS IS REQUIRED TEMPERING FILM IS TO BE APPLIED ON (E) GLASS PANE.	
8. SEE FLOOR PLANS FOR SWING AND/OR OPERATION.	
9. INTERIOR DOORS TO HAVE LOCK AND KEY ON ADA-COMPLIANT HANDLES.	
10. PROVIDE THRESHOLD AND WEATHERSTRIPPING FOR ALL EXTERIOR DOORS.	
11. PROVIDE CLOSER AND PERIMETER GASKET AS REQUIRED BY CODE FOR ALL FIRE DOORS.	
12. PROVIDE METAL KICKPLATE ON PUSH SIDE AT ENTRY, TOILET ROOM & STAIR DOORS.	



1 DOOR

WINDOW NOTES	HARDWARE GROUPS
1. FIELD-VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING / FABRICATING WINDOWS AND FRAMES	
2. PROVIDE SHOP DRAWINGS FOR ALL CUSTOM ASSEMBLIES.	
3. FOR CUSTOM WINDOWS, IF A CLOSE MATCH FROM A STOCK MANUFACTURER IS AVAILABLE PROVIDE SUBMITTAL	
4. CLEAN AND RESTORE ALL WINDOW HARDWARE TO WORKING CONDITION. REPLACE IN KIND AS NEEDED FOR PROPER OPERATION	
5. REPLACE (E) CRACKED GLASS WITH (N) GLASS IN KIND, U.O.N.	
6. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE FOR WINDOWS IN NEW, NON-HISTORIC LOCATIONS.	
7. PROVIDE (N) PERIMETER WEATHER STRIPPING FOR ALL (N) WINDOWS; INCLUDING MEETING RAIL	
8. PAINT ALL (N) WINDOWS INCLUDING SASH, FRAME AND GLAZING PUTTY. DO NOT PAINT WINDOW TRACKS	
9. ALL (N) WINDOWS TO MATCH (E) IN STYLE, PROFILE AND TRIM, U.O.N.	
10. WINDOW SCHEDULE IS LOCATION-SPECIFIC. THERE IS ONE WINDOW (OR PAIR) PER WINDOW MARK.	
11. SIZE OF (N) WINDOWS BASED ON STANDARD SIZES BY MARVIN WINDOWS. ANY SUBSTITUTIONS MUST BE APPROVED "AS EQUAL".	
12. (N) REPLACEMENT WINDOWS ARE SIZED FOR SASH OPENING.	
13. PROVIDE (N) WINDOW SCREENS, U.O.N.	



2 WINDOW

- PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF NEW (N) PROPOSED ADJACENT AREAS.
- PATCH & REPAIR EXISTING (E) INTERIOR WALL FINISHES, TO MATCH (E). USE (E) HISTORIC WALL MATERIALS & FINISHES, WHERE APPLICABLE.
- NEWLY EXPOSED ORIGINAL PLASTER CEILING TO BE PATCHED/REPAIRED TO MATCH AND ALIGN WITH ADJACENT SURFACE.
- REPAIR (E) CEILING FINISHES, TO MATCH (E) CEILING TYPE & TEXTURE.
- COORDINATE PROPOSED SCOPE OF FINISH WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF (N) BUILDING ELEMENTS. PATCH & REPAIR AS REQUIRED.

3 FINISHES

ROOM #	NAME	FLOOR FINISH	BASE		WAINSCOT		WALLS		CEILING			NOTES
			MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	
100	VERANDA	(N) PERMEABLE PAVERS	N/A	NA	N/A	N/A	(N) CEM PLASTER	(N) WHITE WASH	REPAIR (E) T&G WD	PAINT	(E) TO REMAIN	SET O/ SAND SETTING BED ON COMPACTED BASE
101	PARLOR	(N) REDWOOD PLANKS	WD	PAINTED	N/A	N/A	REPAIR (E) PLASTER	PAINT	REPAIR (E) T&G WD	PAINT	10'-3 1/2"	BUTT JOINT AT ENDS AND SIDES
102	BEDROOM	LINOLEUM	WD	PAINTED	N/A	N/A	REPAIR (E) PLASTER	PAINT	REPAIR (E) T&G WD	PAINT	8'-10"	FLOOR FINISH TO HAVE APPEARANCE OF COMPACTED DIRT
103	DINING	LINOLEUM	WD	PAINTED	N/A	N/A	REPAIR (E) PLASTER	PAINT	REPAIR (E) T&G WD	PAINT	8'-10"	FLOOR FINISH TO HAVE APPEARANCE OF COMPACTED DIRT
104	BEDROOM	LINOLEUM	WD	PAINTED	N/A	N/A	REPAIR (E) PLASTER	PAINT	REPAIR (E) T&G WD	PAINT	8'-10"	FLOOR FINISH TO HAVE APPEARANCE OF COMPACTED DIRT
105	STUDY	LINOLEUM	WD	PAINTED	N/A	N/A	REPAIR (E) PLASTER	PAINT	REPAIR (E) T&G WD	PAINT	10'-3 1/2"	FLOOR FINISH TO HAVE APPEARANCE OF COMPACTED DIRT
201	ATTIC	1x T&G WD.	N/A	N/A	N/A	N/A	N/A	N/A	(E) WD. RAFTERS	(N) WHITE WASH	5'-9" @ B.O. COLLAR TIE	
ACCESSORY BUILDING												
301	UNISEX TOILET	SEALED CONCRETE	4" RUBBER	COLOR TBD	FRP	COLOR TBD	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	MECHANICAL LOFT OVER RESTROOM
302	UNISEX TOILET	SEALED CONCRETE	4" RUBBER	COLOR TBD	FRP	COLOR TBD	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	MECHANICAL LOFT OVER RESTROOM
303	STORAGE	SEALED CONCRETE	4" RUBBER	COLOR TBD	N/A	COLOR TBD	GYP. BD.	PAINT	EXPOSED RAFTERS	N/A	TO RIDGE W/ EXPOSED JOISTS	

DOOR SCHEDULE												
MARK	LOCATION	SIZE (WxH)	TYPE	STYLE	DOOR			FRAME		RATING	HDW	NOTES
					MAT'L	GL	FINISH	MAT'L	FINISH			
1	FRONT DOOR	PR 2'0" x 7'6"	A	PANELED	WD	N/A	PAINT	WD	PAINT	N/A		INSTALL (N) POWER DR. OPERATOR
2	PARLOR STUDY	2'10" x 6'8"	(E)	PANELED	WD	N/A	PAINT	WD	PAINT	N/A		
3	PARLOR - DINING	PR 2'0" x 7'6"	(E)	PANELED	WD	N/A	PAINT	WD	PAINT	N/A		
4	PARLOR - BEDROOM 102	3'0" x 6'8"	(E)	PANELED	WD	N/A	PAINT	WD	PAINT	N/A		
5	BEDROOM 102 - SIDE DOOR	3'0" x 6'8"	B	FLUSH	WD	N/A	PAINT	WD	PAINT	N/A		
6	BEDROOM 102 - REAR DOOR	3'0" x 6'8"	C	PANELED	WD	FULL LITE	PAINT	WD	PAINT	N/A		(N) INFILL WALL AROUND DOOR
7	BEDROOM 102 - DINING	2'10" x 6'8"	(E)	PANELED	WD	N/A	PAINT	WD	PAINT	N/A		REPAIR/REPLACE DUAL SWING FUNCTION
8	DINING REAR DOOR	PR 2'0" x 7'6"	A	PANELED	WD	N/A	PAINT	WD	PAINT	N/A		
9	DINING REAR DOOR	PR 2'0" x 7'6"	A	PANELED	WD	N/A	PAINT	WD	PAINT	N/A		
10	BEDROOM 104 - REAR DOOR	3'0" x 6'8"	C	PANELED	WD	FULL LITE	PAINT	WD	PAINT	N/A		REDUCE HEIGHT OF (E) DOORWAY; (N) INFILL WALL
11	BEDROOM 104 - STUDY	3'0" x 6'8"	(E)	PANELED	WD	N/A	PAINT	WD	PAINT	N/A		
20	ATTIC ENTRY DOOR	3'0" x 5'6"	(E)	PANELED	WD	N/A	PAINT	WD	PAINT	N/A		
31	UNISEX TOILET 301	3'0" x 6'8"	B	FLUSH	HOL MTL	N/A	PAINT	HOL MTL	PAINT	20-MIN.		
32	UNISEX TOILET 302	3'0" x 6'8"	B	FLUSH	HOL MTL	N/A	PAINT	HOL MTL	PAINT	20-MIN.		
33	ACCESSORY STORAGE 303	3'0" x 6'8"	B	FLUSH	HOL MTL	N/A	PAINT	HOL MTL	PAINT	20-MIN.		

WINDOW SCHEDULE												
MARK	LOCATION	SIZE (WxH)	TYPE	FUNCTION	SASH			FRAME		RATING	HDW	NOTES
					MAT'L	GL	FINISH	MAT'L	FINISH			
1	PARLOR	4'0" x 5'5"	B	DBL HUNG	WD	CLR	PAINT	WD	PAINT	N/A	MATCH (E)	MATCH MUNTIN PROFILE & PATTERN OF (E) WINDOWS
2	PARLOR	4'0" x 5'5"	B	DBL HUNG	WD	CLR	PAINT	WD	PAINT	N/A	MATCH (E)	MATCH MUNTIN PROFILE & PATTERN OF (E) WINDOWS
3	BEDROOM 104	2'6" x 5'5"	A	DBL HUNG	WD	CLR	PAINT	WD	PAINT	N/A	MATCH (E)	MATCH MUNTIN PROFILE & PATTERN OF (E) WINDOWS
4	BEDROOM 104	2'6" x 5'5"	A	DBL HUNG	WD	CLR	PAINT	WD	PAINT	N/A	MATCH (E)	MATCH MUNTIN PROFILE & PATTERN OF (E) WINDOWS
5	STUDY	4'0" x 5'5"	B	DBL HUNG	WD	CLR	PAINT	WD	PAINT	N/A	MATCH (E)	MATCH MUNTIN PROFILE & PATTERN OF (E) WINDOWS
6	STUDY	4'0" x 5'5"	B	DBL HUNG	WD	CLR	PAINT	WD	PAINT	N/A	MATCH (E)	MATCH MUNTIN PROFILE & PATTERN OF (E) WINDOWS

MORAGA ADOBE

AT J&J RANCH REHABILITATION

24 ADOBE LANE ORINDA, CA 94563



SCHEDULES

PROJ. NO. 2016-051
 SCALE NO SCALE
 DATE 28 FEB 2017
 PHASE PERMIT
 DRAWN HA
 CHECKED AW

NO. DATE REVISION
 30 APR 2018 PERMIT SET
 10-03473
 BUILDING DIVISION
 PERMIT NUMBER

SEP 29 2019

APR 12 18
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